



# BALSCADDEN | Howth, Co. Dublin

Architectural Design Statement | SHD Application | March 2022

PLUS ARCHITECTURE LIMITED | Chancery Lane, Dublin 8, D08 C98X

# Introduction

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## The Development Team

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Ecology Consultancy	Enviroguide



++ PLUS ARCHITECTURE LIMITED  
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**CONTENTS**

<b>1. Introduction</b>			
1.1	Introduction .....	4	
1.2	Site Context .....	6	
1.3	Description of Site .....	7	
<b>2. Site Strategy</b>			
2.1	Connectivity & Permeability .....	8	
2.2	Site Strategy .....	9	
2.3	Topographical Considerations .....	10	
2.4	The Southern Boundary .....	15	
2.5	The Northern Boundary.....	17	
2.6	Townscape Considerations .....	18	
<b>3. Proposed Development</b>			
3.1	Design of Elevation design to Main St/ Abbey St.....	20	
3.2	Design of Elevation design to Balcadden Bay.....	21	
3.3	Material Use .....	24	
3.4	Townscape Visual Impact Assessment.....	25	
<b>4. Progress in design - amendments responding from ABP Opinion</b>			
4.1	I. The relationship of the development to Main Street Howth .....	27	
4.2	II.The relationship of the development to the Martello Tower.....	34	
<b>5. Proposed Architectural Drawings</b>			
5.1	Proposed Plans .....	38	
5.2	Proposed Elevations .....	41	
<b>6. Development Standards</b>			
6.1	Residents Communal Open Space.....	47	
6.2	Public Open Space.....	48	
6.3	Car Parking.....	49	
6.4	Bicycle parking.....	49	
6.5	Residential Amenities & Other Uses .....	50	
6.6	Refuse Storage , Collection & ESB Sub station .....	51	
6.7	Min Floor Areas.....	51	
<b>7. Social &amp; Affordable housing - Part V.....</b>			<b>52</b>
<b>8. Development Schedules</b>			
8.1	Schedule of Accomodation.....		<b>53</b>

# 1. INTRODUCTION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

## I. Introduction

This design statement has been prepared for Balscadden GP3 Limited (a company controlled by Marlet Property Group) for a site at the Former Baily Court Hotel, Main Street, and at lands located south of the Martello Tower on Balscadden Rd., Howth, County Dublin.



Aerial View outlining site area of application



Receiving context: Topography of Balscadden Bay

# 1. INTRODUCTION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

## II. Site Context

Howth is an historic village with distinctive character areas: the village core, the harbour area and Howth Road. The subject site is located within the village core character area which has a tight urban grain and a concentration of retail and commercial uses at ground level along Main Street. Most of the buildings within the village core date from the late C.19th to early C.20th with some modern infill development.

The rise and fall of roads and footpaths are enhanced by the rich fabric of simple buildings contributing to a congruous whole. The winding streets enclose and unfold views, animating the character of place. It is these changes in level and direction and the stepped nature of the roofscape that give Howth village its distinct character.

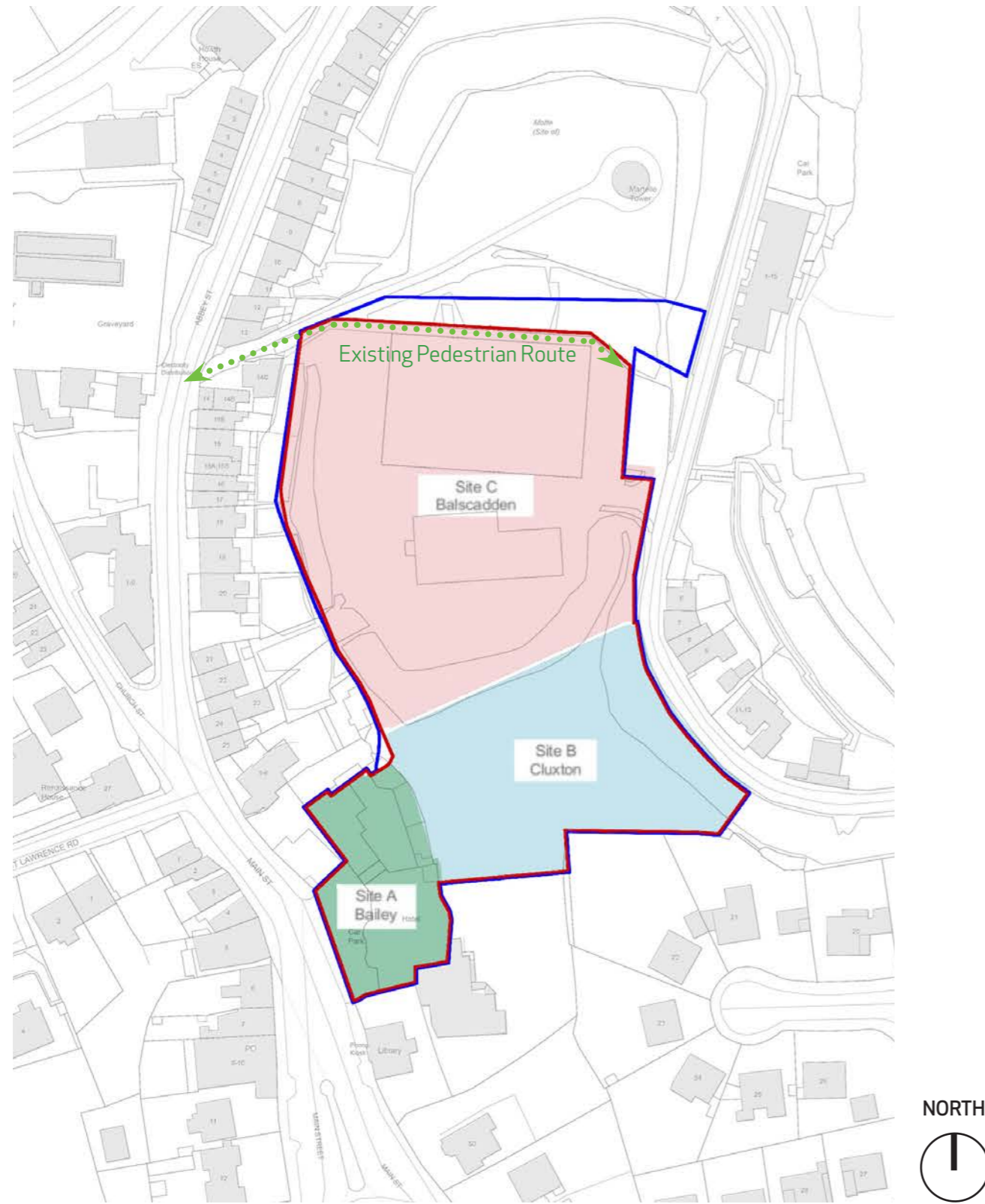
Focal buildings of note within the village core are St. Mary's Abbey, the Church of the Assumption and the Martello Tower. These landmarks aid legibility within the village and aid understanding of the place. However there are some significant barriers to legibility and permeability in Howth notably the steep topography surrounding the Martello Tower which is a physical barrier between the village core and Balscadden Bay.

The building line within the village typically comes forward to the pavement and there is minimal soft landscaping. Throughout the village buildings orient positively to the street and frontages are typically active. The building grain is fine in nature with a vertical emphasis.



# 1. INTRODUCTION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Amalgamated Lands

## III. Description of Site



Baily Court Hotel View looking North



Baily Court Hotel View looking South



Aerial View over Site & Ballycadden Bay

The site was originally 3 separate plots with 3 different owners, however the site has been consolidated into a single entity under one landowner.

The largest plot of land, on Balscadden Road, south of the Martello tower, was formerly the Edros centre, comprising a leisure centre and tennis courts. The site is overgrown and fenced off. It offers no visual or physical amenity to Howth and provides a poor setting for the Martello tower. It is a relatively flat site, surrounded on 3 sides by steep embankments. A right-of-way north of site C, from Abbey Street to Balscadden Road, exists along the bottom of the mound, but this pathway is isolated from neighbouring properties.

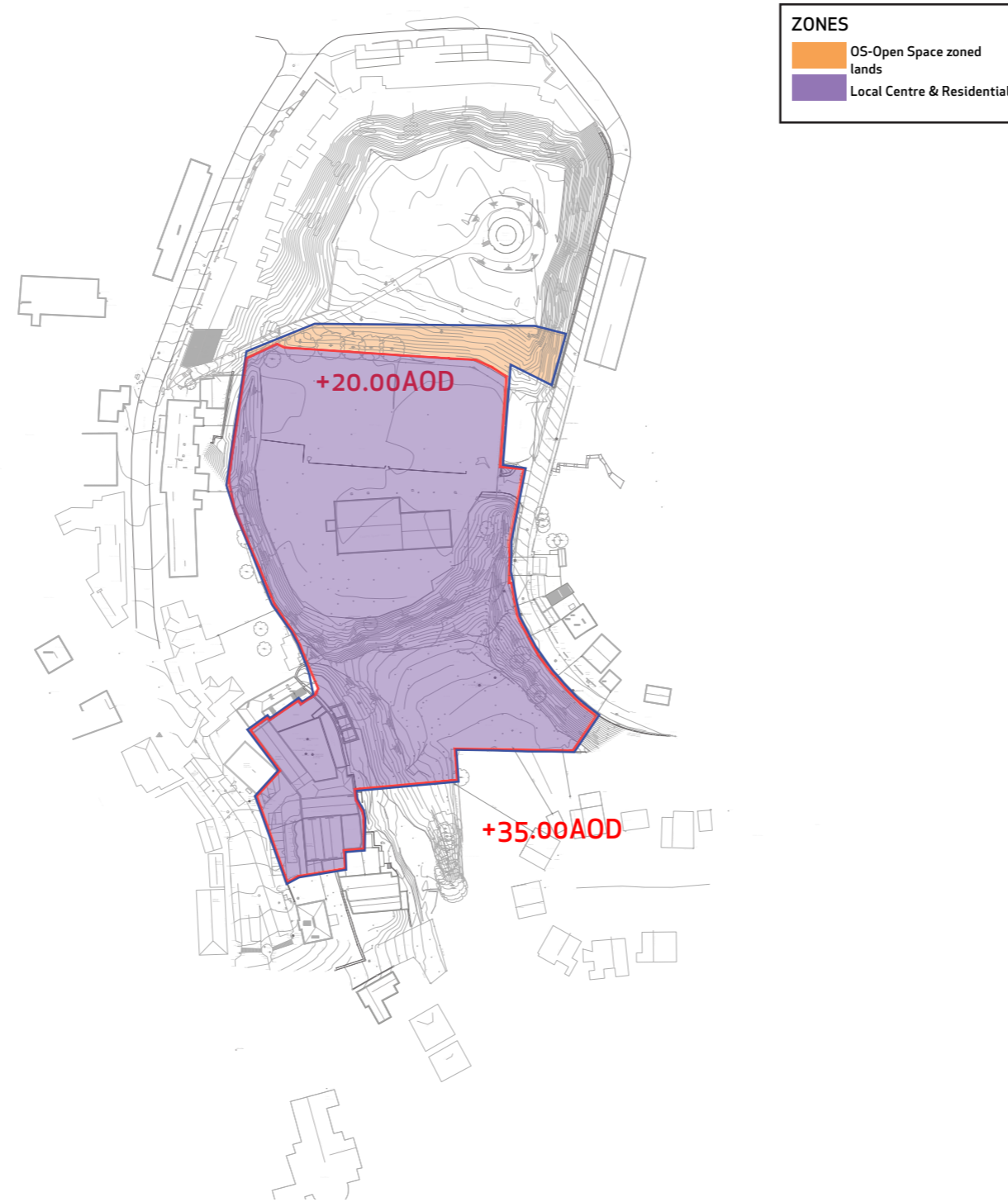
South of the Balscadden site are the 'Cluxton' lands. The site is overgrown with grass and shrubs and rises steeply to the south and east. The site slopes steeply upwards to the Asgard Park estate on the southern & south eastern boundary, c. 15m higher than the Balscadden plateau.

The third plot of land is the former Baily Court hotel, which has not functioned as such for many years. The rear of the hotel backs directly onto the Cluxton lands. Combining these plots as a whole, they have potential to make a significant and positive contribution to the village and open up new connections and links through the village.

# 1. INTRODUCTION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

Embankment View from Balscadden Road

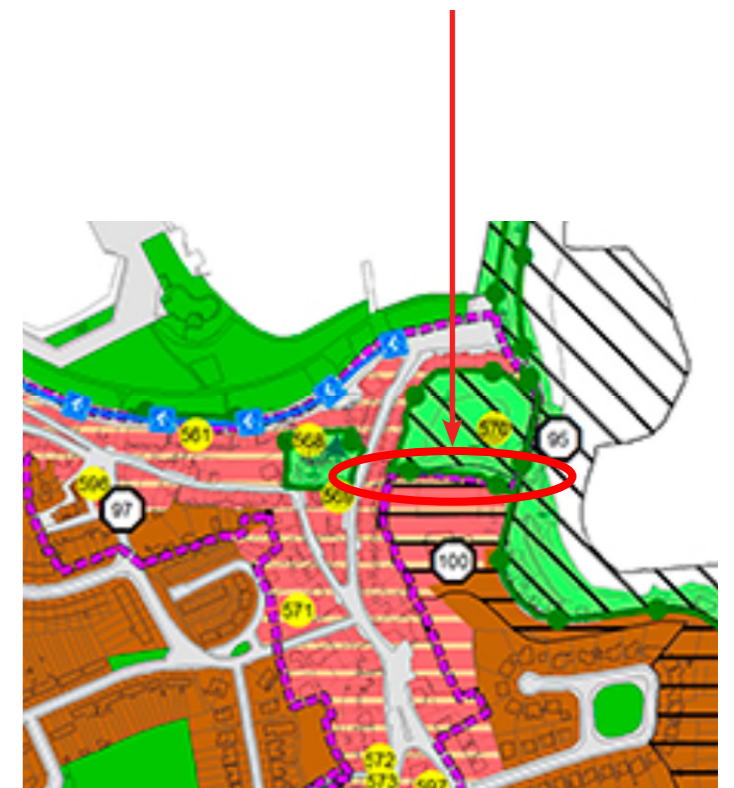


Site Topographical Plan

## Description of Site

The subject lands comprise c. 1.43 hectares of land between Main Street and Balscadden Road. The application site takes into account the sensitivity of proximity to existing houses on Balscadden Rd, taking precaution to step back slightly to reduce overlooking and overshadowing.

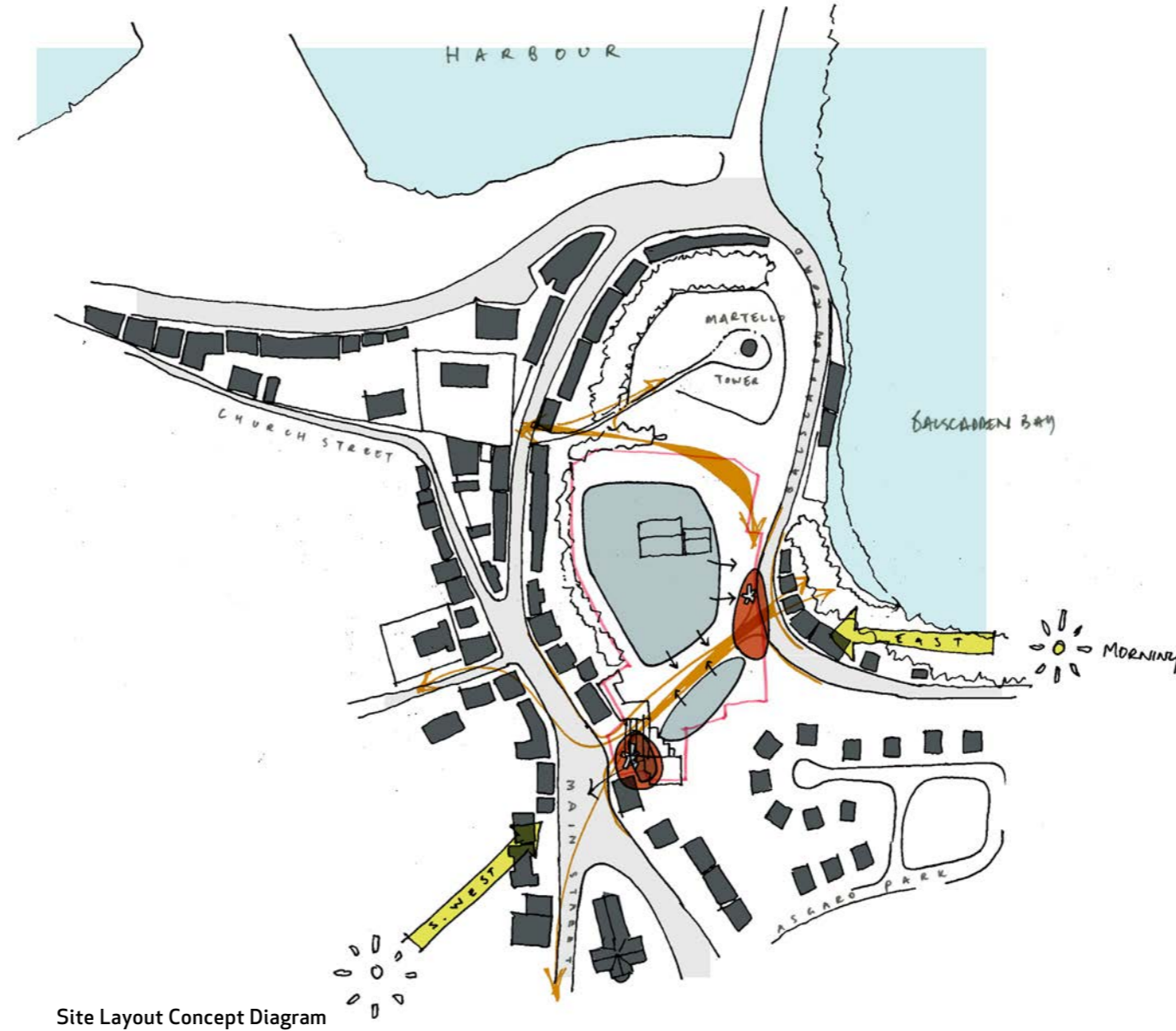
It is also proposed to omit any lands falling into the site development area to the north that do not benefit from the residential zoning enjoyed by the balance of the lands.



Fingal Development Plan Zoning Map

## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



### I. Connectivity & Permeability

The lands offer a number of urban design benefits that improve connection and permeability that are proposed to be integrated into the development:

- The enabling of a new east-west connection from the Main Street/ Howth Parish Church to Balscadden Bay
- The enabling of an improved east-west connection from the Main Street, to the south of the Martello Tower, to Balscadden Bay
- A new public space facing over Balscadden Bay
- The delivery of new housing to the Village, with associated active frontage retail use at the Main Street



Site Layout



Primary Connection



Secondary Connection



Placemaking



Howth Urban Centre Strategy Document (FCC)



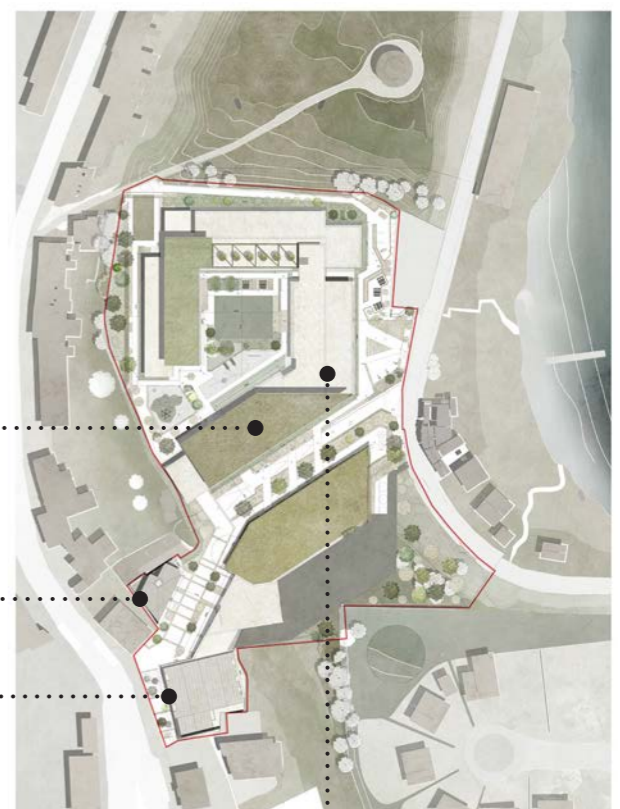
## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



- Block B massing heights sensitive to Martello tower height. See Site sections for more details.
- Lawn games area - see landscape plan for more details
- Existing Pedestrian Route maintained and re-landscaped
- Block B- 126 Units
- Open / Play Space. This area proposes a communal games lawn & covered seating areas
- New Public Plaza overlooking Balscadden Bay. Complete with public seating
- Pebble beach playground - see landscape plan for more details
- New Linear Pedestrian route to Balscadden Rd / bay. Topography to slope from +19m at Abbey St to meet Balscadden Rd at +21.5m
- Block C- 43 Units
- Block C Southern Courtyard - Sculpture garden, water features & Landscaped terraced wall
- Block A - 2 Units
- Pedestrian Entrances to Blocks
- Vehicular Access Route from Main St to Block B Basement Carpark
- Block D - 9 Units. Design of block to embody similar characteristics to former Baily Court Hotel. Shape, scale and design sensitive to Main St. Streetscape
- Covered external Cafe seating

### II. Site Strategy



Site Roof Plan

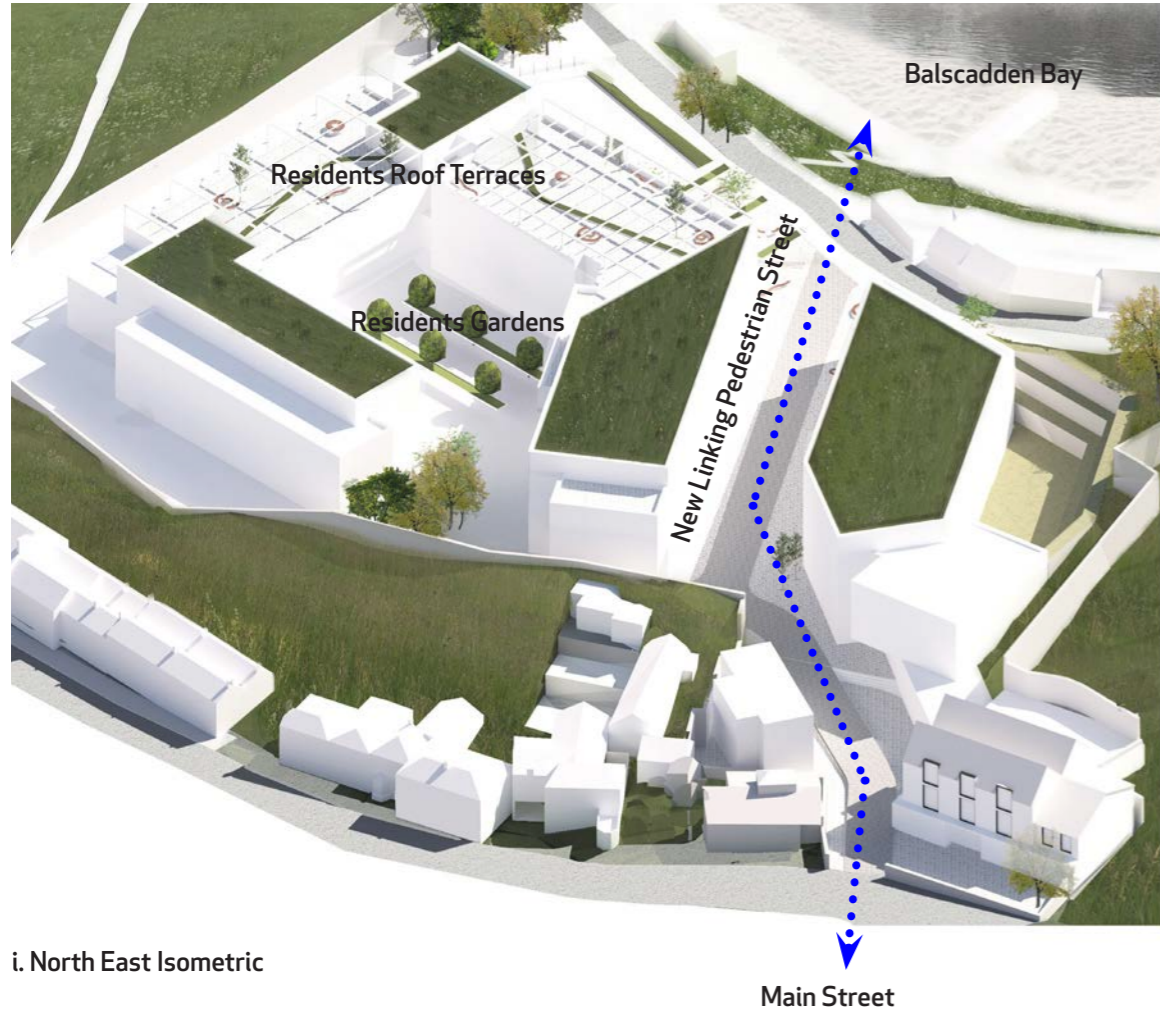
- Landscaped Roof Terraces at third and fourth floors of Block B. Roof gardens provide bbq areas, covered seating, and landscaped gardens which overlook Balscadden Bay
- All other roofs for Block B & C are proposed as flat green roofs to enable building to sit within the green embankment
- Block A & D are proposed as Pitched slate roofs to enable the continuity of the roofscape of Howth Main St.

- Public Open Space
- Communal Open Space

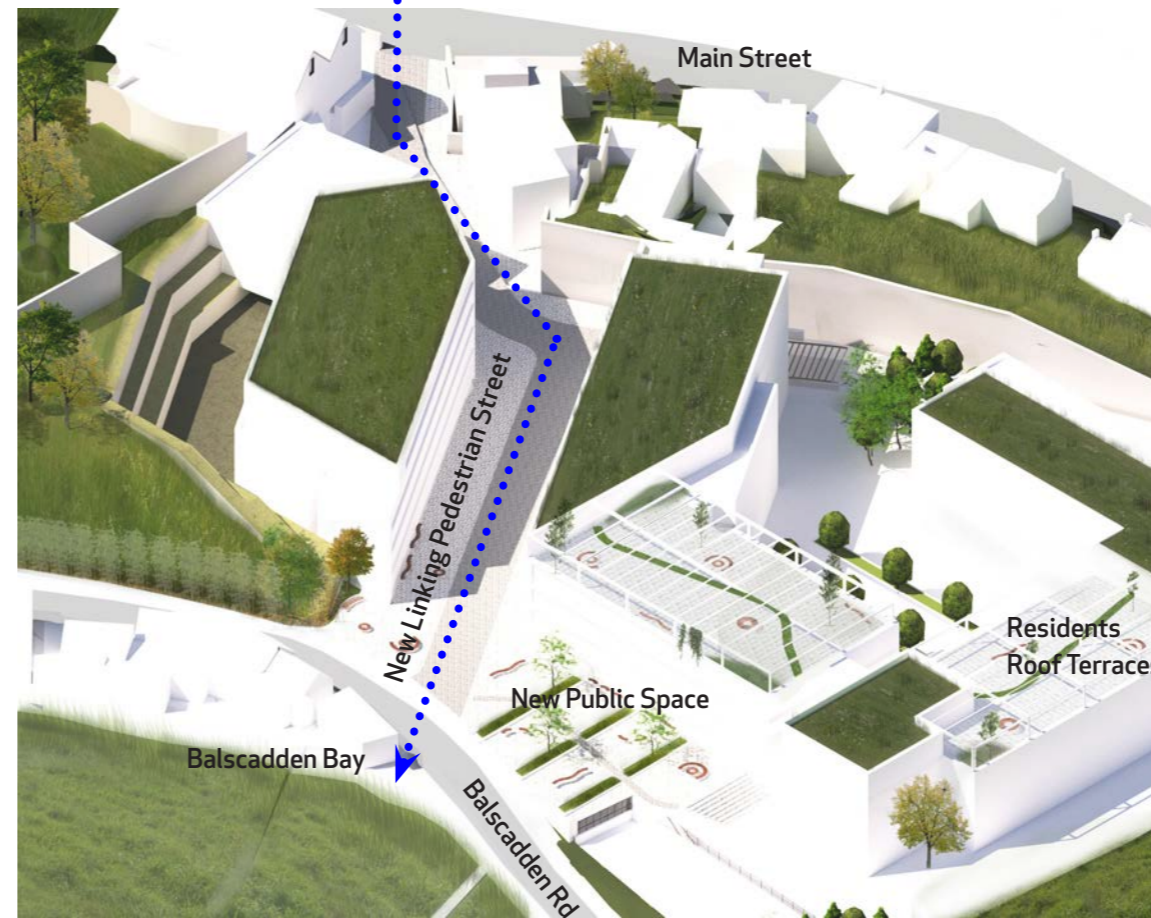
Site Layout Plan

## 2. SITE STRATEGY

Site on the Bascadden Road & Main Street | Howth | Co. Dublin



i. North East Isometric

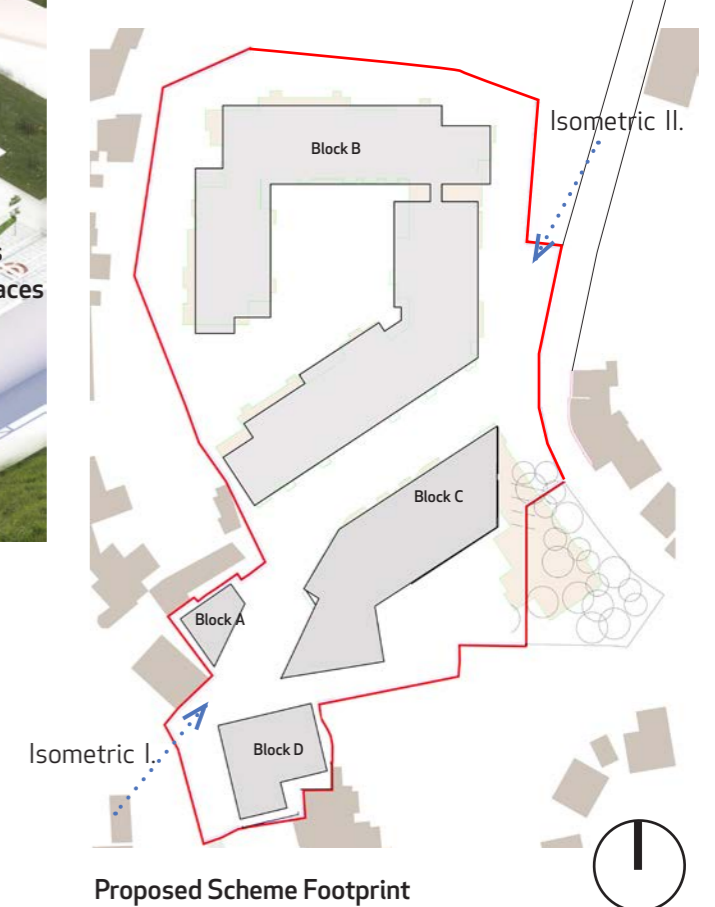


II. South West Isometric

### II. Site Strategy

The proposed scheme footprint rationalizes a stepping in-and-out façade, stepping back in places near sensitive boundaries. A principle advantage of this approach also is to reduce the extent of intervention of the ground, mitigating concerns raised regarding the stability of the site when developed and the quantity of excavated material to be removed from the site.

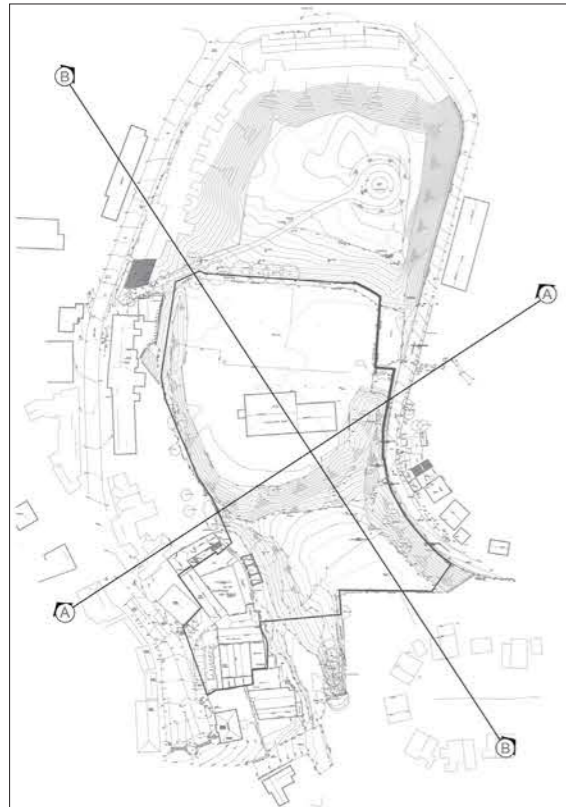
The Isometric massing models to the left show how the scheme sits into the landscape, the green flat roof's replicating the excavated embankment. The scheme steps in and out of sensitive areas, also leaving the southeastern portion of the site clear & uninterrupted for the houses adjacent to the Bascadden Road. The Pedestrianised route is lined by both Block B & C, which then opens up to reveal a public open landscaped plaza, overlooking the Bay.



Proposed Scheme Footprint

## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Key Plan - Existing Site Plan

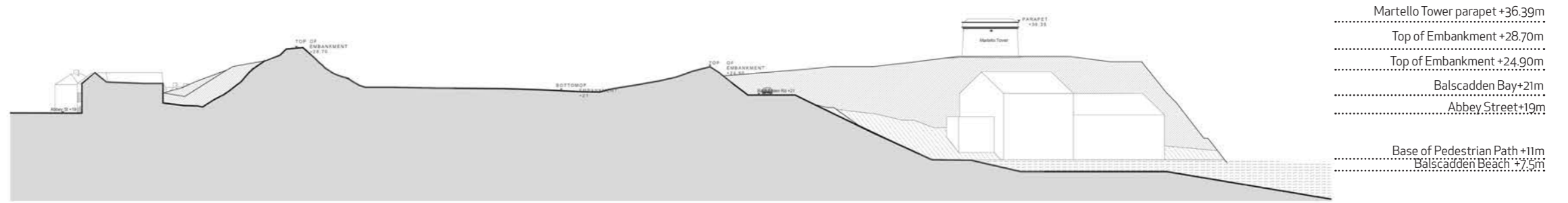
Existing Section showing the current state of the embankment and its relationship to the Main St, Balscadden Bay & the Martello Tower.

The lower embankment exists at around +20m while its highest point to the south of the site reaches +35m.

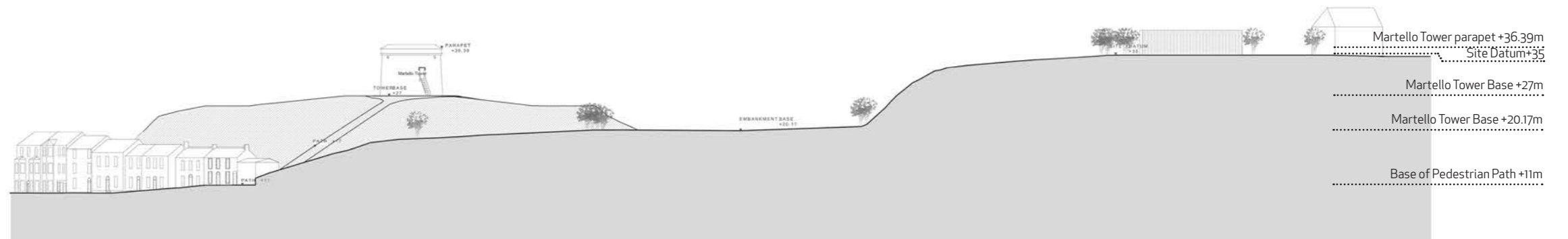
The proposal intends to be sensitive to utilise these levels as markers, also being sensitive to the height of the martello tower, of which the parapet sits at +36.39m above sea level.

### III. Topographical Considerations

#### Existing Site Sections



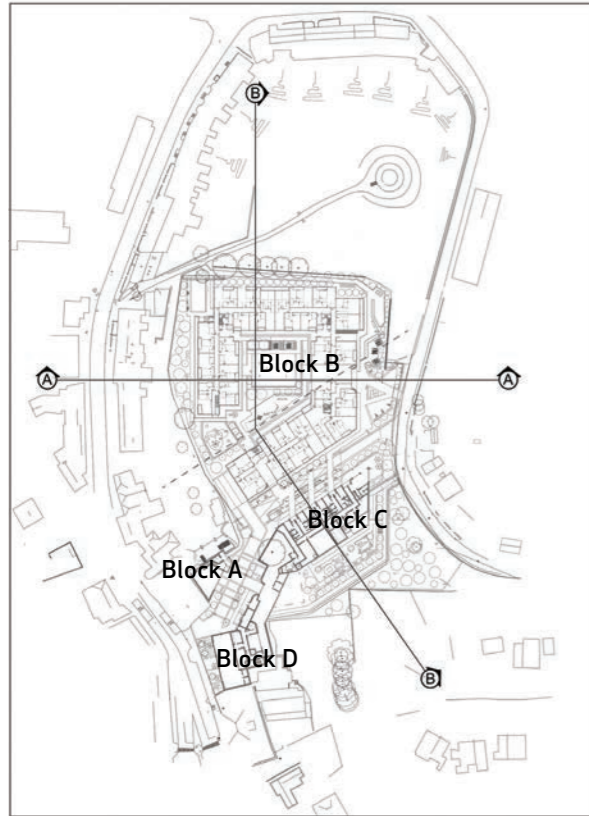
Site Section A



Site Section B

## 2. SITE STRATEGY

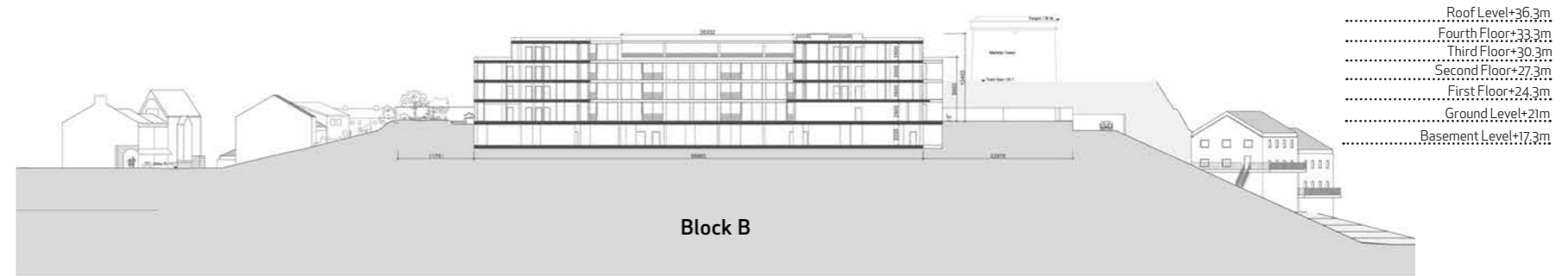
Site on the Balscadden Road & Main Street | Howth | Co. Dublin



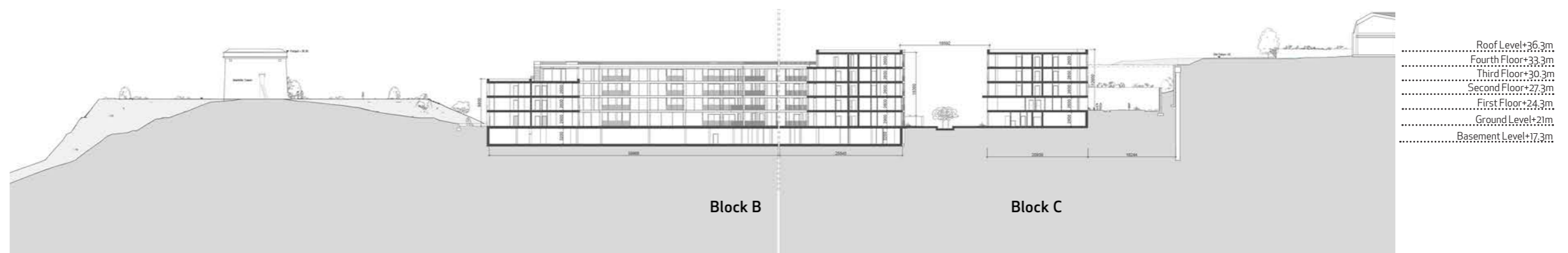
Key Plan - Existing Site Plan

Section showing the proposed scheme on site. The pedestrian route slowly slopes from the Main st at +19m to meet Balscadden road at +21.5. The scheme to the north of this pedestrian route sits at +21m level. The embankment is excavated and restrained by a retaining wall to the south of Block C. This wall is terraced and landscaped and provides a southern courtyard at +24.3m. This raised courtyard provides residents with daylight/sunlight throughout the day, and is landscaped with a sculpture garden and water features. The top esker embankment is retained. This section intends for the scheme to sit into the landscape and reduce it's visual impact. The highest roof level is intended to reach +36.3, to respect the existing sightline of the Martello tower. Please see the next page for a visual of this sight line from Balscadden road.

### III. Topographical Considerations Proposed Site Sections



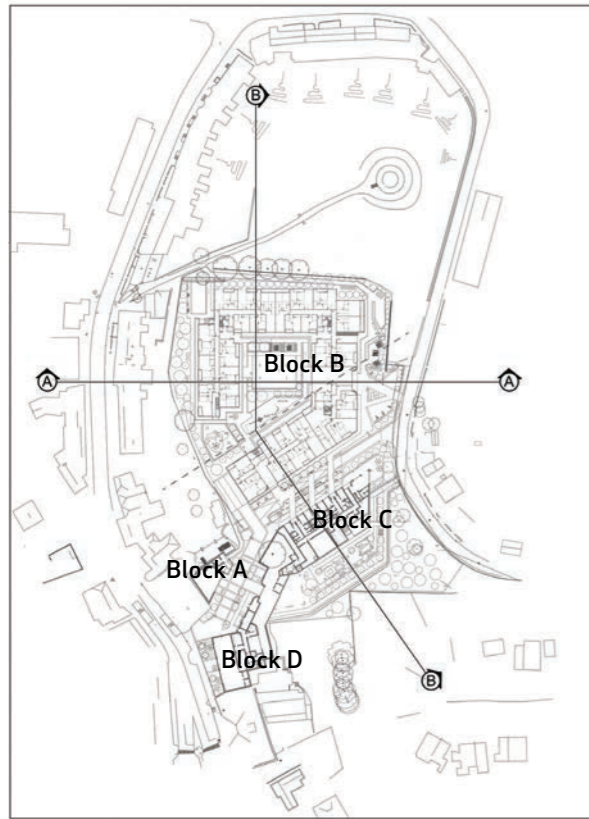
Site Section A



Site Section B

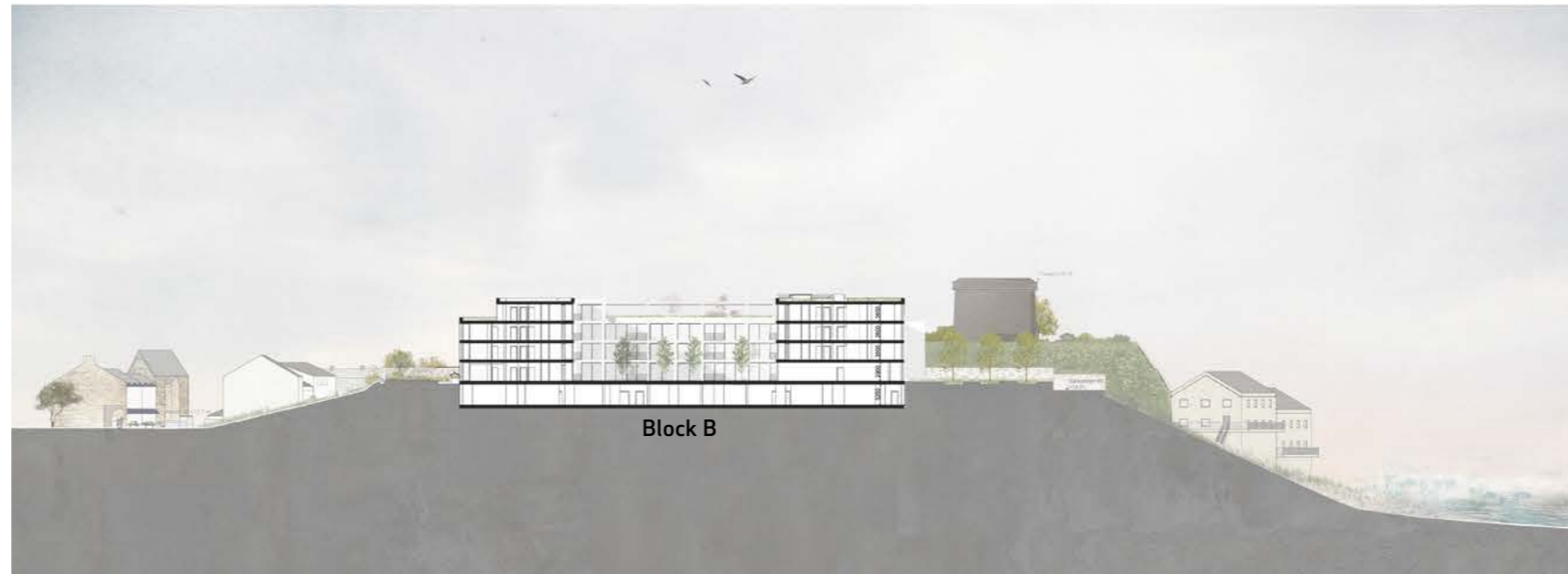
## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



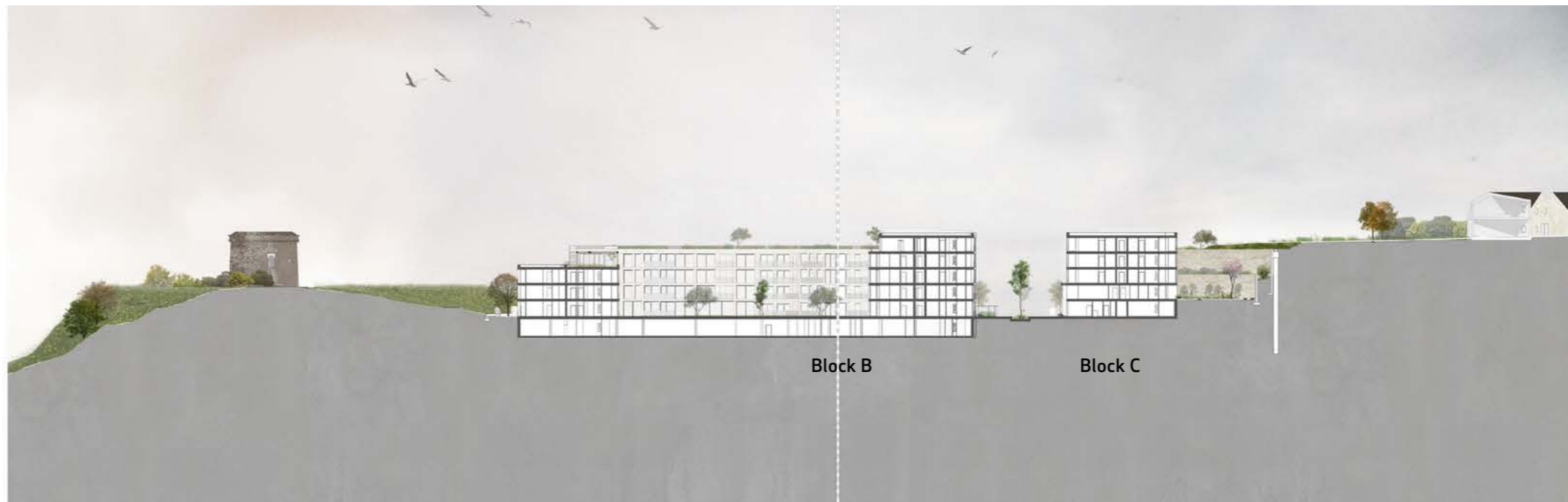
Key Plan - Existing Site Plan

### III. Topographical Considerations Proposed Site Sections - Rendered Visualisation



Site Section A

..... Roof Level+36.3m  
..... Fourth Floor+33.3m  
..... Third Floor+30.3m  
..... Second Floor+27.3m  
..... First Floor+24.3m  
..... Ground Level+21m  
..... Basement Level+17.3m



Site Section B

..... Roof Level+36.3m  
..... Fourth Floor+33.3m  
..... Third Floor+30.3m  
..... Second Floor+27.3m  
..... First Floor+24.3m  
..... Ground Level+21m  
..... Basement Level+17.3m

## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



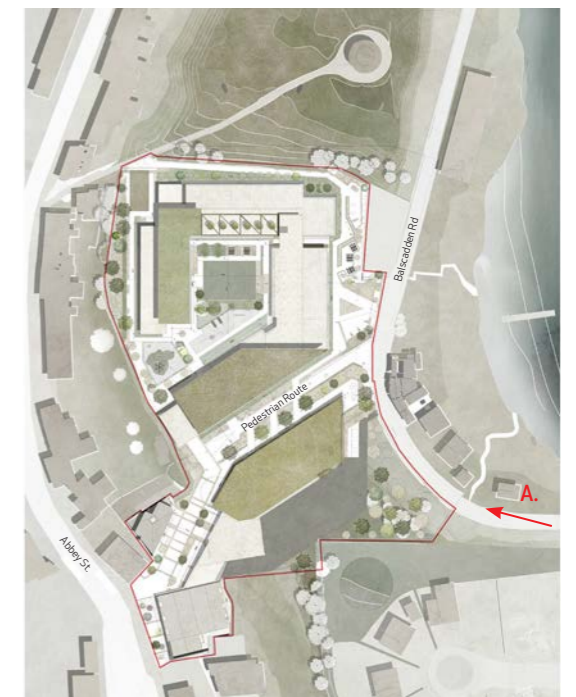
Proposed View A. of Development Massing from Balscadden Road, looking west



Primary Massing model from Balscadden Road, looking west



Receiving context: Topography of Balscadden Bay



Site Plan: view taken looking west

### III. Topographical Considerations

#### Balscadden Bay

The retention of the embankment onto Balscadden Road is proposed primarily as a means to reduce the extent of groundworks required to undertake a redevelopment. However, the retention of the embankment also serves to successfully shield views of the redevelopment along the eastern boundary viewed from Balscadden Rd, moving towards the village. The topography of the site, falling and rising again from north to south, further assists with the management of this townscape view, with the development effectively nestled into the hillside.

## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### IV. The Southern Boundary

#### Structural Solution to the Embankment

An early design consideration has been to work between architect and structural engineer to conceptualise how the southern retaining embankment may be approached.

The use of a secant piled retaining wall is to be advanced to propose stepped solution to the retaining embankment. The piles will terminate at 1m below the slab level to maintain permeability within the soils. This enables a simple and low-risk construction sequence whereby the retaining structure is installed 'top down', consisting of:

- Concrete Drive piles
- Excavate to 3m deep
- Inset the next pile line 3m offset

A stepping arrangement continues down the embankment to provide a simple and secure arrangement. However, to fortify the pile line, it is also proposed to build the new southern development (Block C) into the piled wall, allowing the piles and the structural frame of the building to act in structural unison, the building effectively buttressing the piled wall.

Please see enclosed *Outline Construction & Demolition Management Plan*, and *Geotechnical Engineering Report* for more information on the retaining wall solutions.



Isometric looking south west. Retaining Structure Concept



Isometric looking south west (Block C) . Retaining Structure Concept: New development buttressing retaining walls.

#### Removal of spoil

Of particular concern is the suitability of the Balscadden Road to receive construction traffic. In order to address this concern a number of design decisions can assist to mitigate the issue, in conjunction with a number of commitments that can be undertaken within the suite of planning application documents. The design responses include:

- The reduction in the site effective site area, from 1.55 hectares to 1.43 hectares ensures that less quantum of soil is to be removed
- The decision not to remove the entire embankment

The management of construction activity, as can be prescribed in the planning Construction Management Plan, will propose to forbid construction HGV construction traffic from utilizing the Balscadden Road, prescribe a defined route from the site and out of the peninsula, and prescribe time limitations for such activities.

Please see enclosed *Outline Construction & Demolition Management Plan* for more information.



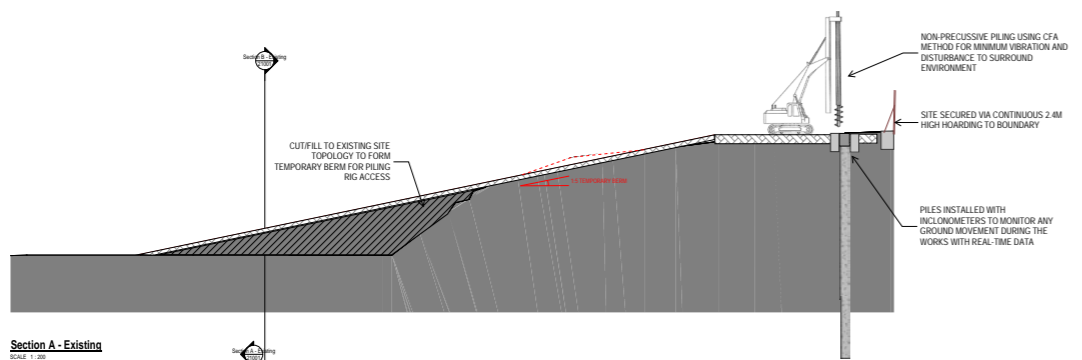
Receiving context looking south west: Topography of Balscadden Bay



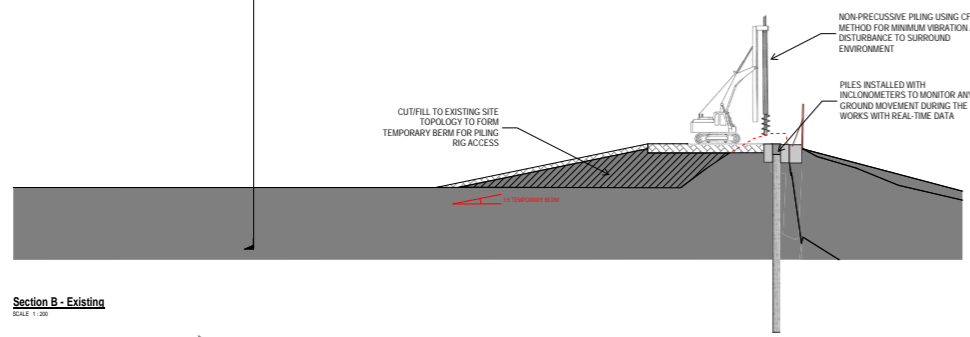
Site Plan

## 2. SITE STRATEGY

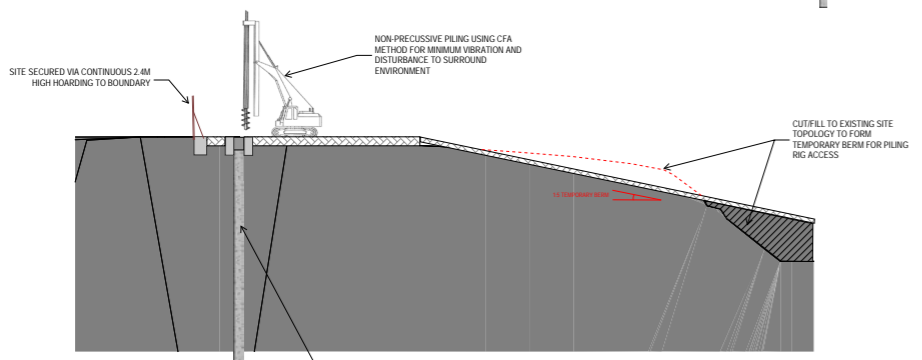
Site on the Balscadden Road & Main Street | Howth | Co. Dublin



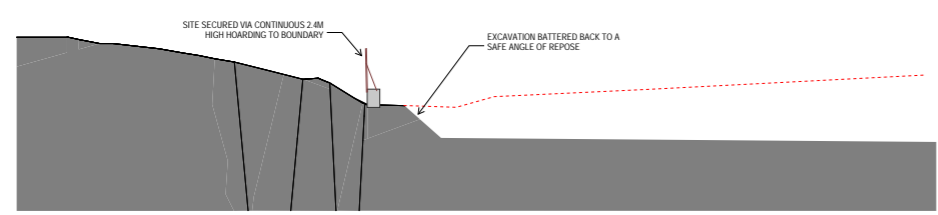
Section A - Existing  
SCALE 1:20



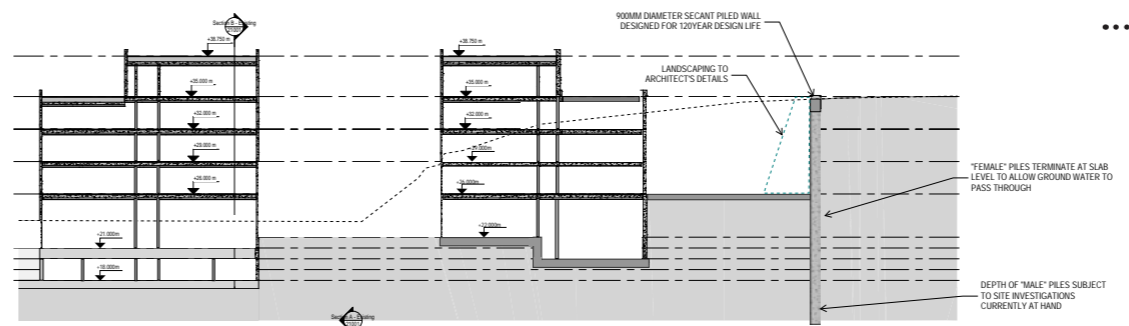
Section B - Existing  
SCALE 1:20



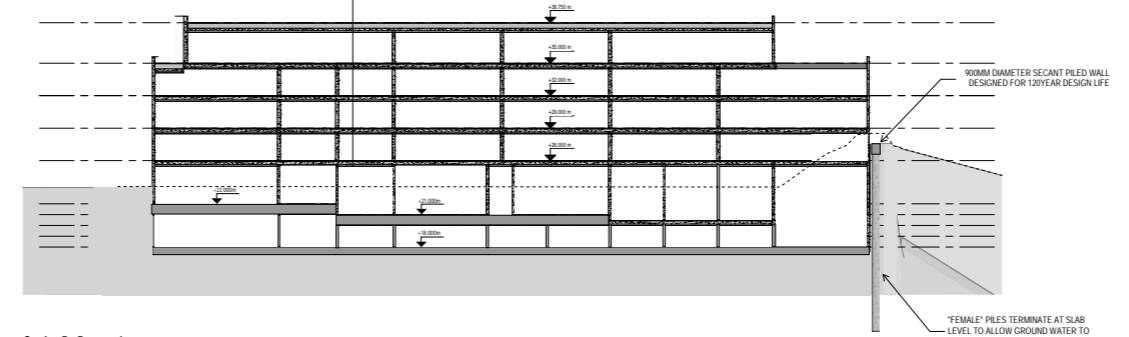
Section C - Existing  
SCALE 1:20



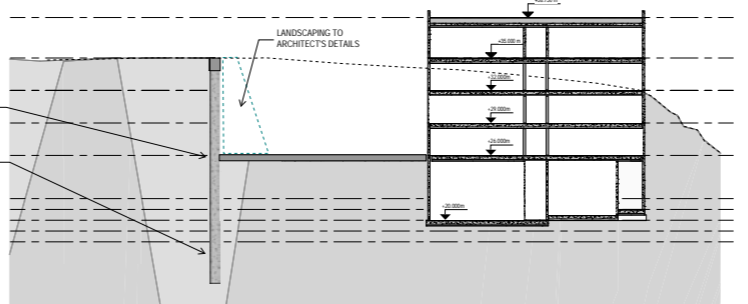
Section D - Existing  
SCALE 1:20



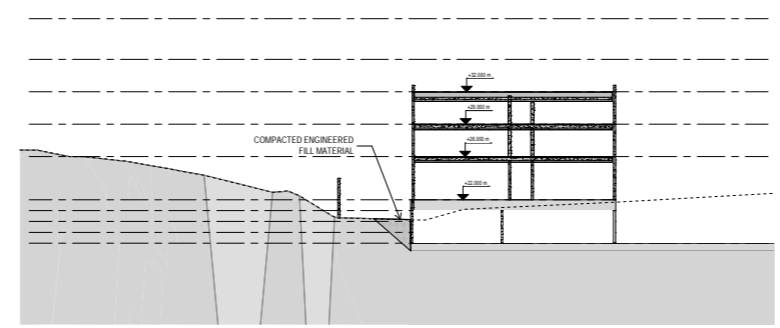
Section A - Proposed  
SCALE 1:20



Section B - Proposed  
SCALE 1:20



Section C - Proposed  
SCALE 1:20



Section D - Proposed  
SCALE 1:20

## IV. The Southern Boundary Structural Solution to the Embankment

The use of secant concrete pile walls allows for an installation of least disruption to site. Other advantages of this type of retention is that secant concrete piles are extremely robust and resilient in their performance.

In order to inform the design's buildability and appropriate (buildable) proximities to boundaries, where retention of the adjacent ground is required, a series of construction sequence examinations have been undertaken to verify design assumptions.

Please see enclosed Outline *Construction & Demolition Management Plan*, and *Geotechnical Engineering Report* for more information.





## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### V. Northern Boundary



Embankment View from Balscadden Road



Red Line Ownership, Right of Way & Open Space Zoned Lands



Existing right of Way (below) with proposed Upgrade & Development Screening (above)



Site Survey Extract

The northern edge of the site presents a peculiar condition of a sharp embankment up to the Martello Tower. The land ownership traverses a line that is unmarked on the ground. A palisade fence has been erected in recent times, but at a line above the legal boundary.

Furthermore, a public right-of-way traverses the northern boundary, within the land ownership line & Site boundary.

A screening planting scheme can be achieved by continuing the planted line of the existing pine trees at the eastern end of the right of way, to achieve a continuous and visually coordinated line of new *pinus sylvestris* (Scots Pine). The public right of way is to be formalized in to a hard-paved universally accessible route, with enhanced public lighting, overlooked by the apartments, with a planted privacy buffer edge between building and path.

## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



View of proposed building from Abbey Street looking East

### VI. Townscape considerations

#### The Baily Court Hotel

The Baily Court Hotel was built in the early years of the nineteenth century as a hotel, intending initially to serve those who were availing of the cross-channel packet boats from the new harbour, which had commenced construction in 1807. It served as a hotel until about 2007 and has been vacant since the closure.

There is little left of the original internal features within the hotel. A large-scale refurbishment appears to have begun in the 1940s and had a particularly active phase until the mid-1950s. It seems likely that many of the original internal features disappeared at that time.

Externally, the original facade appears to have been rendered, ruled and lined; however the front elevation now lacks this feature, erased during twentieth century modifications. The building is generally in poor condition, with water penetrating down through the building to ground floor level. This substantial level of water penetration has left the building severely damaged. Unfortunately further damage has been caused by vandalism & graffiti throughout the years.

In summary, the combination of historic remodelling that removed early and original features, lack of repair, water ingress and consequential structural degradation, have resulted in a building in a poor state of stability. It is not currently safe to enter the building.



Baily Court Hotel, current, from South



Baily Court Hotel, current, from North



Baily Court Hotel, 1940's



Baily Court Hotel, 1990's

## 2. SITE STRATEGY

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



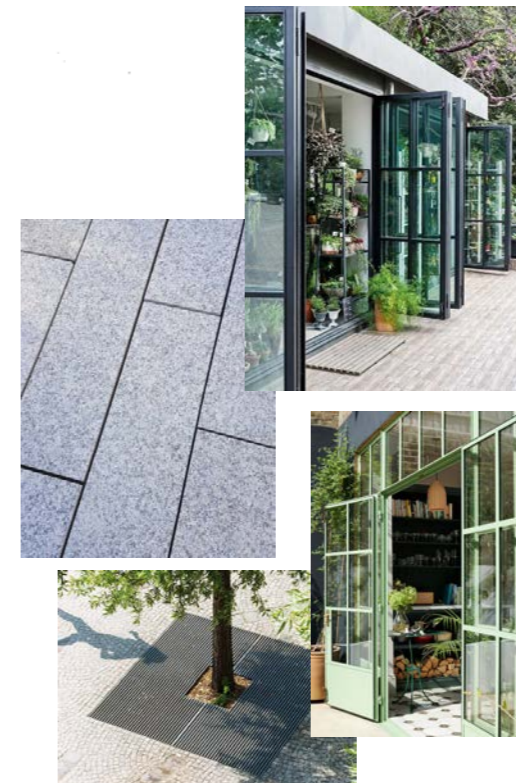
### Proposed Materials

Materials are proposed in similar materials employed locally in the village:

- White render
- Black slate roofs
- Metal Rainwater goods
- Detailing to roofs in zinc or lead



View of proposed building from Abbey Street looking South



### The Baily Court Hotel

Whilst the existing Baily Court Hotel building is past its useful life and in a poor state of repair, the hotel was an important landmark in the village. The hotel's composed front elevation, constituted of three bays of vertically aligned windows over a heavily fenestrated glazed ground floor offered a pleasant contribution to the streetscape.

The forecourt of the hotel currently offers informal car parking within its curtilage. A redesign of this area can enhance the nature of this space to enable both a improved pedestrian edge to the village public realm and the facility to park cars, as currently happens. The design approach to a replacement building is to repeat what was successful about the existing building and try to remedy what was less positive. Accordingly a building of similar scale and form is proposed:

- Pitched roofs are proposed, in natural slate, to integrate the roofscapes in to the surrounding townscape. The local vernacular of pitched roof forms is preferred over flat roofs.
- A composed and symmetrical upper level façade is presented to the main street frontage
- A ground level café use, continuing the intense fenestration of the Baily Courts former façade is proposed
- Window proportion and distribution respects that of its neighbours

It is proposed to contribute an improved public realm in front of the replaced building. The main façade faces southwest, so it is reasonable to assume that from midday onwards the forecourt would be bathed in sunshine and that a café use that permits external seating would be a pleasant addition to the locality. Public realm improvements would be simple and durable, potentially consisting of new street tree planting, improvements to public lighting and surfacing to upgrade the appearance of the streets and usability for persons with disabilities.

### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Proposed Front Elevation View (B.) to Main Street



Existing Front Elevation View to Main Street

#### I. Design of Elevation to Main St/ Abbey St

The building form to Main St/ Abbey St has been developed to present a simple and recognizable building to the village.

The design presents a double fronted pitched volume to the street. The size and shape of the building is familiar in character to the historic pattern of developed forms existing to the village and accordingly, the proposed building sits comfortably with its neighbours.

The position and orientation of the front façade refers back to the existing hotel building, proposed for demolition, allowing the memory of this building to be carried into the future.

At the base of the building is positioned a café/food store, which enjoys a south-western orientation for afternoon and evening sun. Spill-out space in front of this café unit is proposed to capture the sun falling upon this space and to enliven the public realm in this location.



Site Plan: View B. looking South East

### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Proposed Front Elevation View (C.) to Balscadden Bay

#### II. Design of Elevation to Balscadden Bay

The elevation to Balscadden Bay has been designed to take the position of the main entry and address for the development. This entry is formally planned, central to a symmetrical elevation that fronts the bay and frames the backdrop of a new open public space overlooking the bay.

This public space faces east and is open to the south, so it can be expected to enjoy full morning sun up to lunchtime. Afternoon sun can be expected to reach a large percentage of the public space, sun will also travel through the passage of the new street over this course of the afternoon into the evening. The plaza intends to be level at +21m and so is raised slightly above Balscadden Rd as the road sweeps around to meet the pedestrian path. This slight raise in height allows for a view over the bay from the provided seating. The parking allotment to the north of our redline boundary (dotted below) remains intact.

Swimmers and persons accessing the swimming facilities at Balscadden Bay can utilise the public space as a meeting and gathering space, which will be provided with a high quality natural stone surface finish, public seating and lighting and public art. A small café unit has been planned for the south of this space to provide activity and enable the public to dwell in the space.



Site Plan: View C. looking West

### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Pedestrian Eastward Route From Abbey St.

#### Abbey St to Balscadden Bay - Pedestrian Route

The new pedestrian path is visualised in the image here, encapsulating a new formal connection between Howth Main St/ Abbey St & Balscadden Road. The route is softly landscaped, providing seating, and bicycle parking. A cycle way inclined approach to Balscadden road is also provided on this new street. & vehicular access is limited to access to Block B carpark, refuse collection & maintenance work.

▲ Vehicular Access to basement parking



Site Plan: View D. looking East

### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



View (E.) looking East, towards Balscadden Bay

#### Abbey St to Balscadden Bay - Pedestrian Route

Here the pedestrian path opens up to views over Balscadden bay. Block B & C apartments also take advantage of these views by incorporating balconies and bay windows. By providing corner floor to ceiling height bay windows, which step out to an external space, the elevations work to allow each apartment a view towards the bay. This capitalizes the sea views, while also maximises each unit's daylight received throughout the day.



Site Plan: View E. looking East

### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

#### III. Material Use

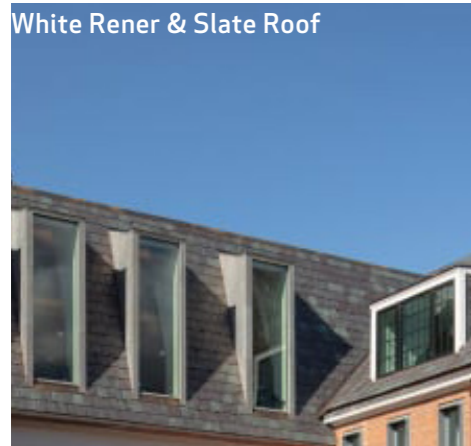
##### Main Street/ Abbey Street

To Abbey Street, the building form proposes simple windows, of vertical proportion, similar to existing traditional windows observed in the village. No balconies are proposed to this elevation, so not to introduce a façade element unfamiliar to the village vernacular.

Materials proposed for use are:

- White render
- Black natural slate roof tiles
- Zinc rainwater goods
- A stone base, in black granite/ basalt

Details proposed for the elevations include integrated flower boxes, dormer windows within the roofscape, façade mounted public lighting enhancement and low level pergola structures to enable the establishment of a complementary planting scheme.



White Render & Slate Roof



Granite Base



White Render on Granite Base



View of Existing Site from Abbey Street



Contemporary Dormer & Facade

Dalkey Villa, DeBlacam & Meagher Architects

Dalkey Villa, DeBlacam & Meagher Architects

##### Balscadden Bay

Material usage has been determined by an analysis of materials used in Howth and Dublin's coastal architecture. Accordingly, a palate of materials is proposed as follows:

- Leinster Granite base, expressed in large rubble format
- White render (this may be interpreted as a white granite for durability reasons)
- Metalwork and railings in painted steel



White Render, Formal Composition



White Render, Formal Composition



White Portland, Formal Composition



White Portland, Formal Composition

Mallorca Villa, DeBlacam & Meagher Architects

Mallorca Villa, DeBlacam & Meagher Architects

One Kensington, David Chipperfield Architects

Bulgari Hotel, London, Squire & Partner Architects



### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

#### IV. TVIA



The view from Howth Pier



Landscape Visual Impact Assessment has been completed and forms part of the Environmental Impact Assessment Report.

Four key views are presented here which form part of the overall LVIA and Verified Views:

- The view from Howth Pier
- The view along Balscadden Road, travelling westwards towards the village
- The view from the elevated green space at Balkill Road
- The View along St Lawrence Road, looking eastwards to the site

Please Refer to LVIA and verified views document enclosed for more details.



The view along Balscadden Road, travelling westwards towards the village



### 3. PROPOSED DEVELOPMENT

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

TVIA



The view from the elevated green space at Balkill Road



Please Refer to LVIA and verified views document enclosed for more details.



The View along St Lawrence Road, looking eastwards to the site



## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### Consideration of Development Scale within receiving Context

Over the course of the planning phase design process, the design proposals have undergone a process of design refinement to ensure the proposed development scale and mass are appropriate to their receiving context. This process has integrated critique from internal design team members; the architectural historian Rob Goodbody and Townscape Visual Impact Assessor Macroworks, with all design team contributors assisted by a comprehensive suite of Visually Verified Townscape Views.

The design proposals have also listened to the comments expressed by the Local Authority, in pre-application consultation, of certain relationships of the development. Over the course of this engagement the Local Authority have identified two principle areas that were adjusted accordingly:

#### I. The relationship of the development to Main Street Howth

#### II. The relationship of the development to the Martello Tower

In both instances the development was reduced in scale, in answer to the Local Authority comments.



Existing Baily Court Hotel: View A taken looking East



Proposed Block D: View A taken looking East

### I. The relationship of the development to Main Street Howth - Block D

The relationship of the development to the context of the Main Street has been considered as a re-provision of an analogous building form to that which currently exists.

The proposed new architecture is modern and not a pastiche. It utilises a number of architectural techniques to achieve its objective of a contextually respectful response:

- The use of familiar volumetric forms such as pitched roofs, roof dormers and expressed gables
- The use of familiar local materials, such as render, stone, slate and metal rainwater goods
- Fragmented volumes, at three and two storeys, reflecting the pattern and grain of the neighbouring buildings
- A single storey applied pergola to the frontage of Block D, to tie the scale of the adjacent single storey public building into the frontage of the site.



Site Plan: View A taken looking East

## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

As can be witnessed from the view of the proposed development from higher up the Main Street, the proposed development sits into the streetscape in a manner that does not diverge from the existing pattern, scale or breakdown of the neighbouring buildings. It is noted that the building height of the proposed development was reduced by one storey over the course of design development, in response to comments from the Local Authority and the design team examination of Verified View Options.

With regard to the impact of the proposed development on the existing Main Street streetscape, the consultant historic building consultant Rob Goodbody surmises:

*"Block D is to be located on the site of the former Baily Court Hotel and its design draws its influence from that of the hotel building. It is to be set back from the street behind a pergola, reflecting the form of the Baily Court, which has a single-storey structure across the front elevation. The block is to be mainly three-storey, plus a top floor at dormer level, with a two-storey element at the southern end. The building is to be gable-ended with a double-A roof, the two sections separated by a valley. From the street Block D will have the appearance of a three-storey building. The design, location and massing of Block D will ensure that it will blend into the streetscape as a suitable replacement for the Baily Court in the ACA."*



Proposed Block D: View B taken looking East

### I. The relationship of the development to Main Street Howth - Block D

The following pages show a series of elevations and detailed drawings to demonstrate progress in the design of Block D. The changes have been made to ensure the new street front, facing Howth Main Street is congruent to the existing streetscape. To do this, the block has reduced in overall scale, by both height and footprint.

A full storey (previous third floor, top storey) has been omitted since the previous proposal, reducing the height of the building from a four storey building to a now 3 storey block, resulting in an overall vertical reduction of 2.4m. This has allowed for the street elevation to be more reflective of the existing Baily Court hotel, at which it's highest point reaches +34m. The new proposed roof ridge now sits 2.2m above the existing Baily Court ridge height (Please see pg's 29&31 for an elevational comparison). This roof profile also allows for a more fluid roofscape along Abbey St. This is further demonstrated in a series of elevations illustrated in the pages following. These are taken from point A, as indicated in the site plan.



Site Plan: View B taken looking East

# 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION - BLOCK D

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

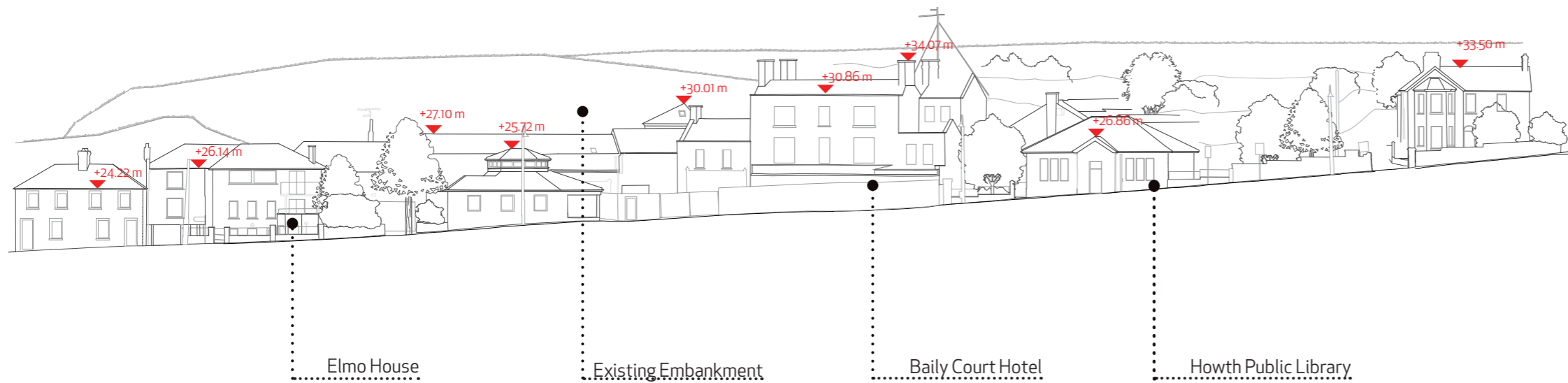
## I. Existing Baily Court Hotel



Existing Contiguous Abbet St Elevation

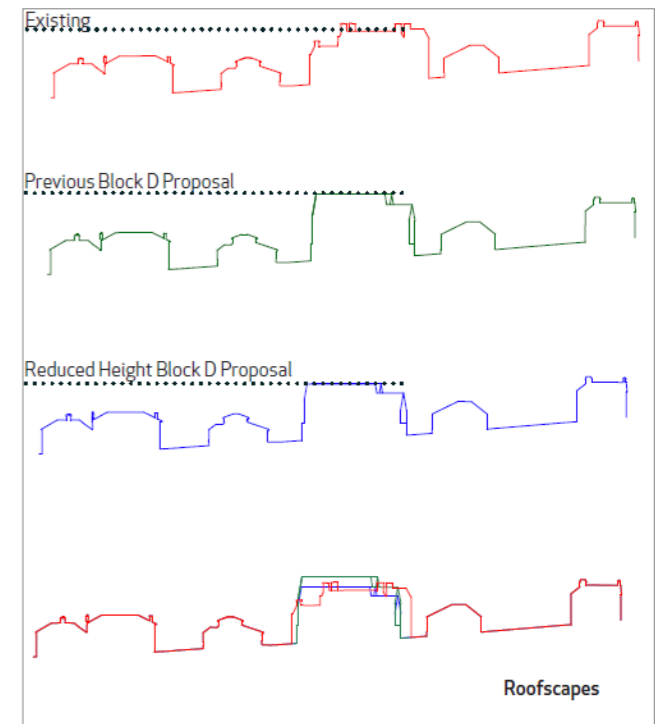


Key Site Plan



Abbey Street Elevation

Scale : 1:200



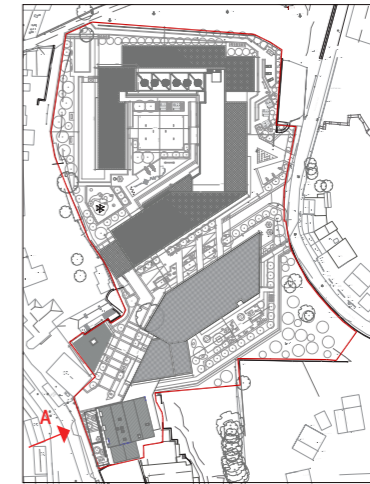
# 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION - BLOCK D

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

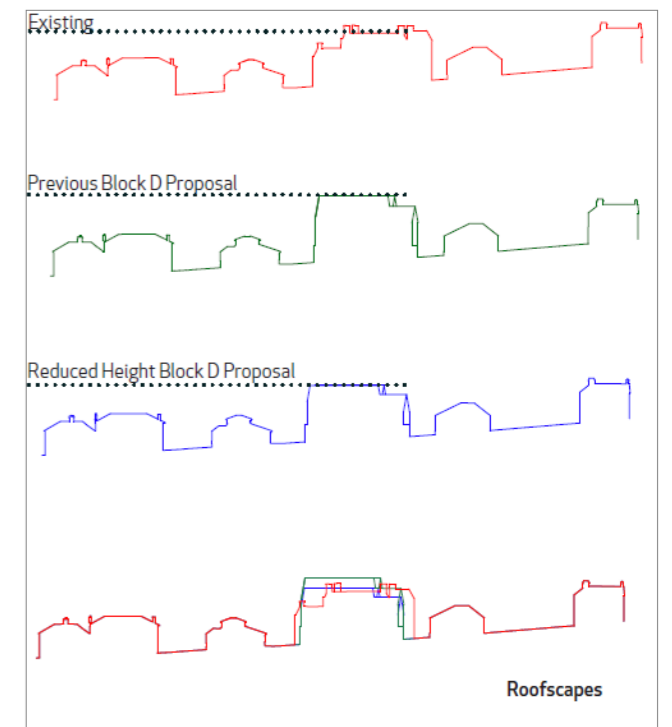
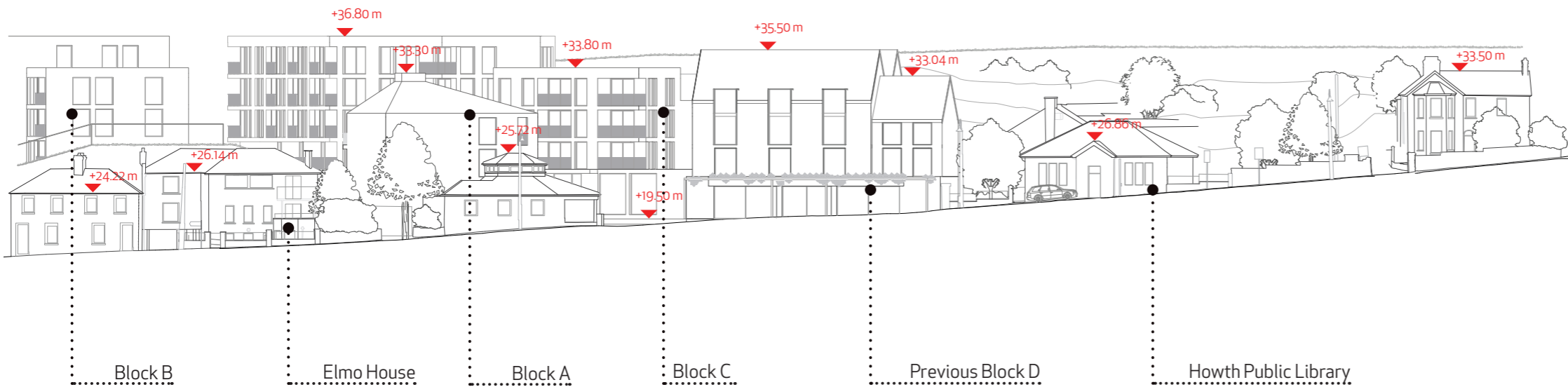
## II. Previous Block D Design (presented at pre-application stage) - Four storey proposal.



Previous Block D Proposal - Abbey St. Elevation



Key Site Plan



Abbey Street Elevation

Scale : 1:200

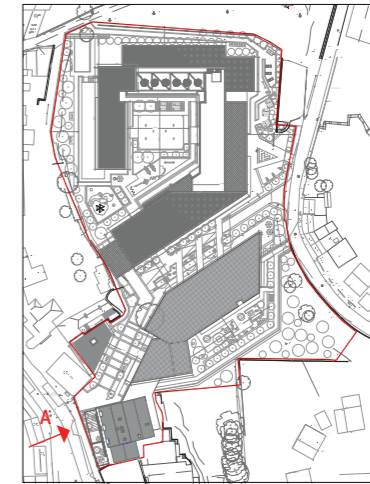
# 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION - BLOCK D

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

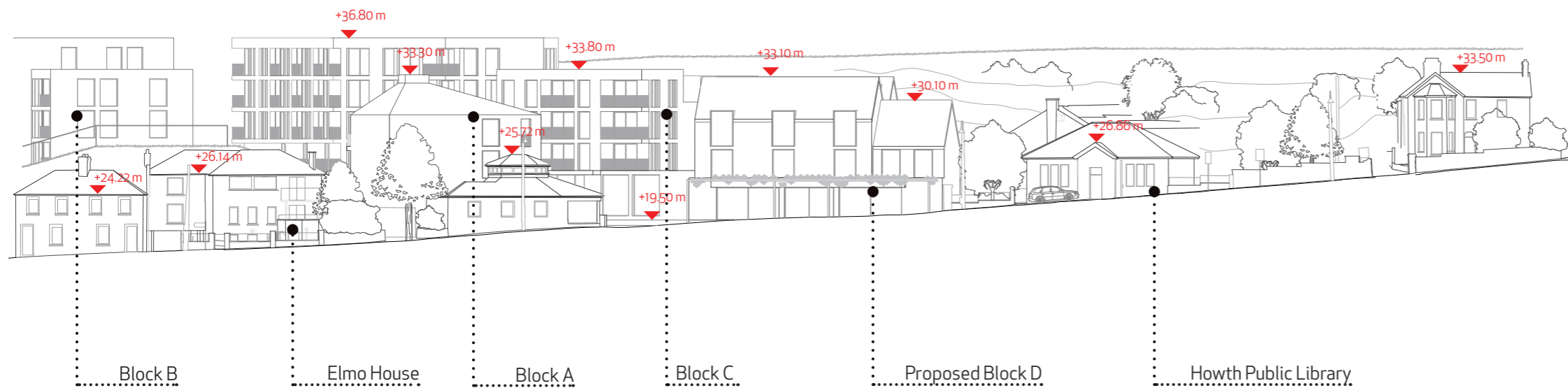
## III. Final Block D Design - Three storey Proposal. Reduced & amended height and scale responding to ABP opinion



Proposed Block D (Reduced) - Abbey St. Elevation

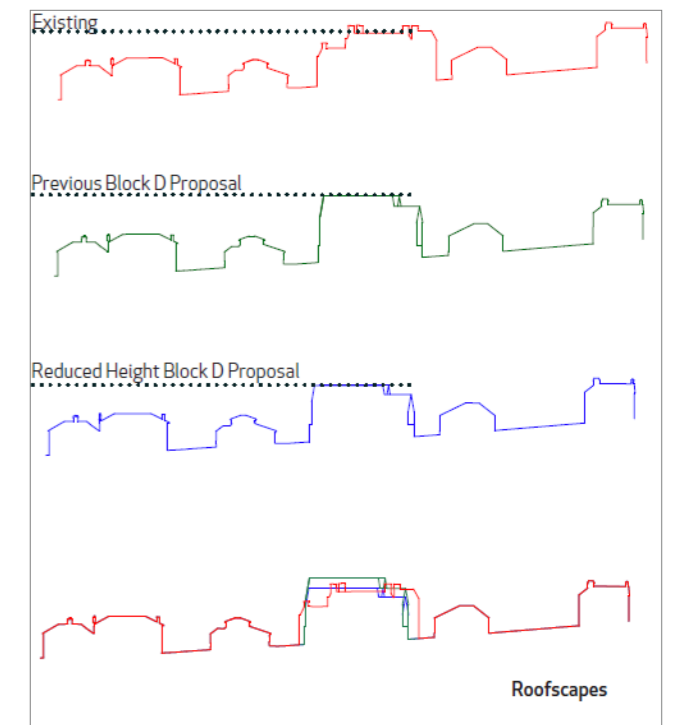


Key Site Plan



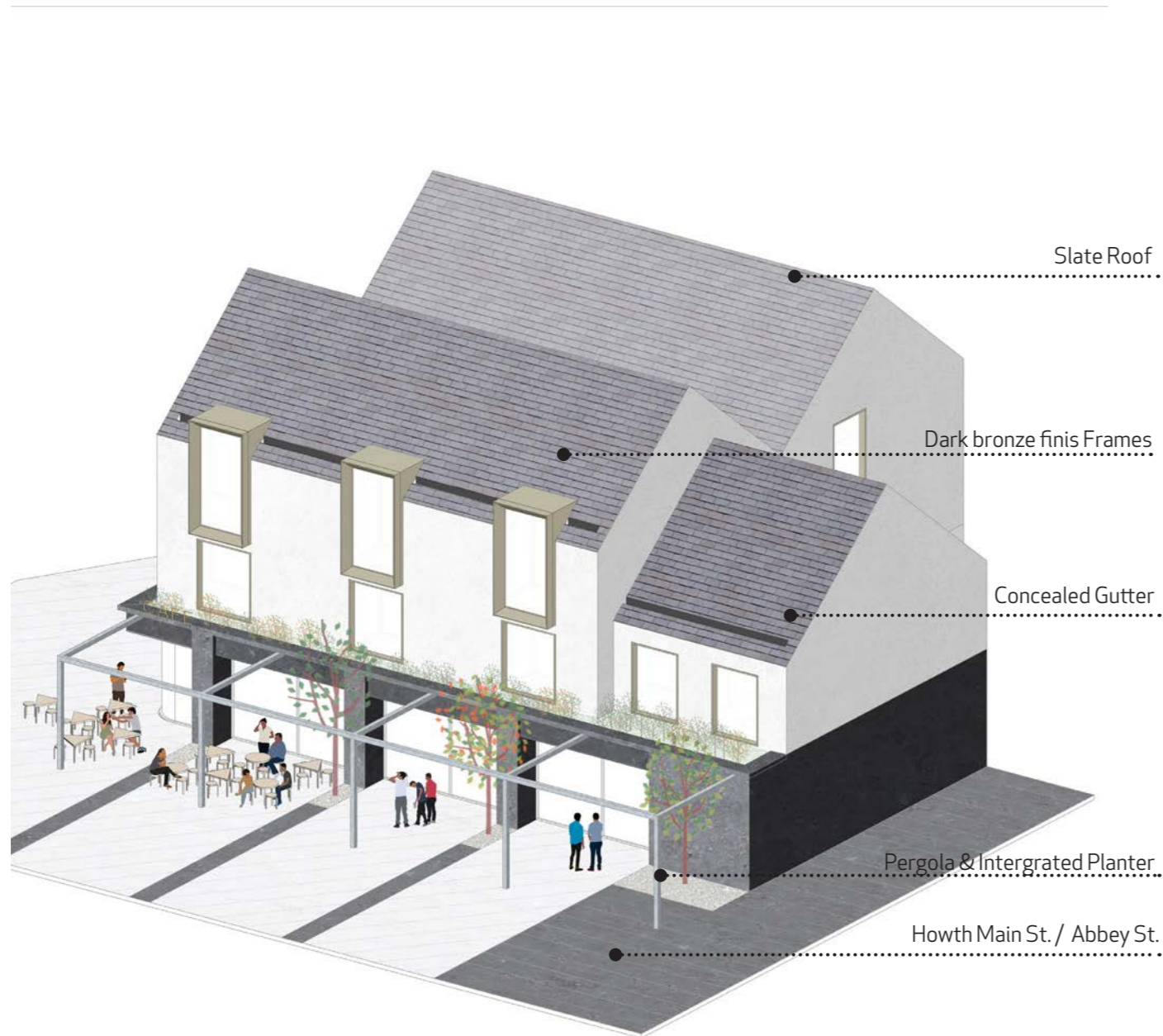
Abbey Street Elevation

Scale : 1:200

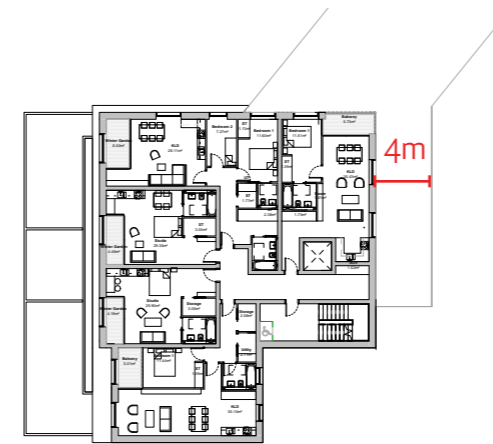


## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

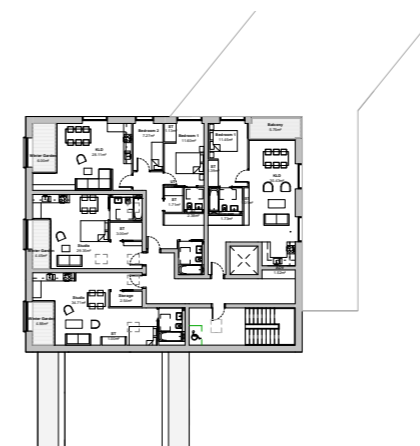
Site on the Balscadden Road & Main Street | Howth | Co. Dublin



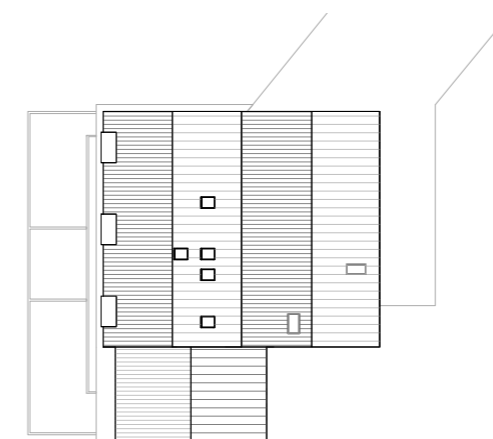
Block D Isometric



First Floor Plan



Second Floor Plan



Roof Plan

### Block D Detailed Design

In addition, Block D has also undergone a reduction in overall footprint. The upper floors on the eastern elevation have been pulled back by 4m permitting more space between the block and the boundary wall, while restricting the possibility of overlooking. To aid this further, southern windows have been omitted, while windows facing east will be fit with opal laminated glass.

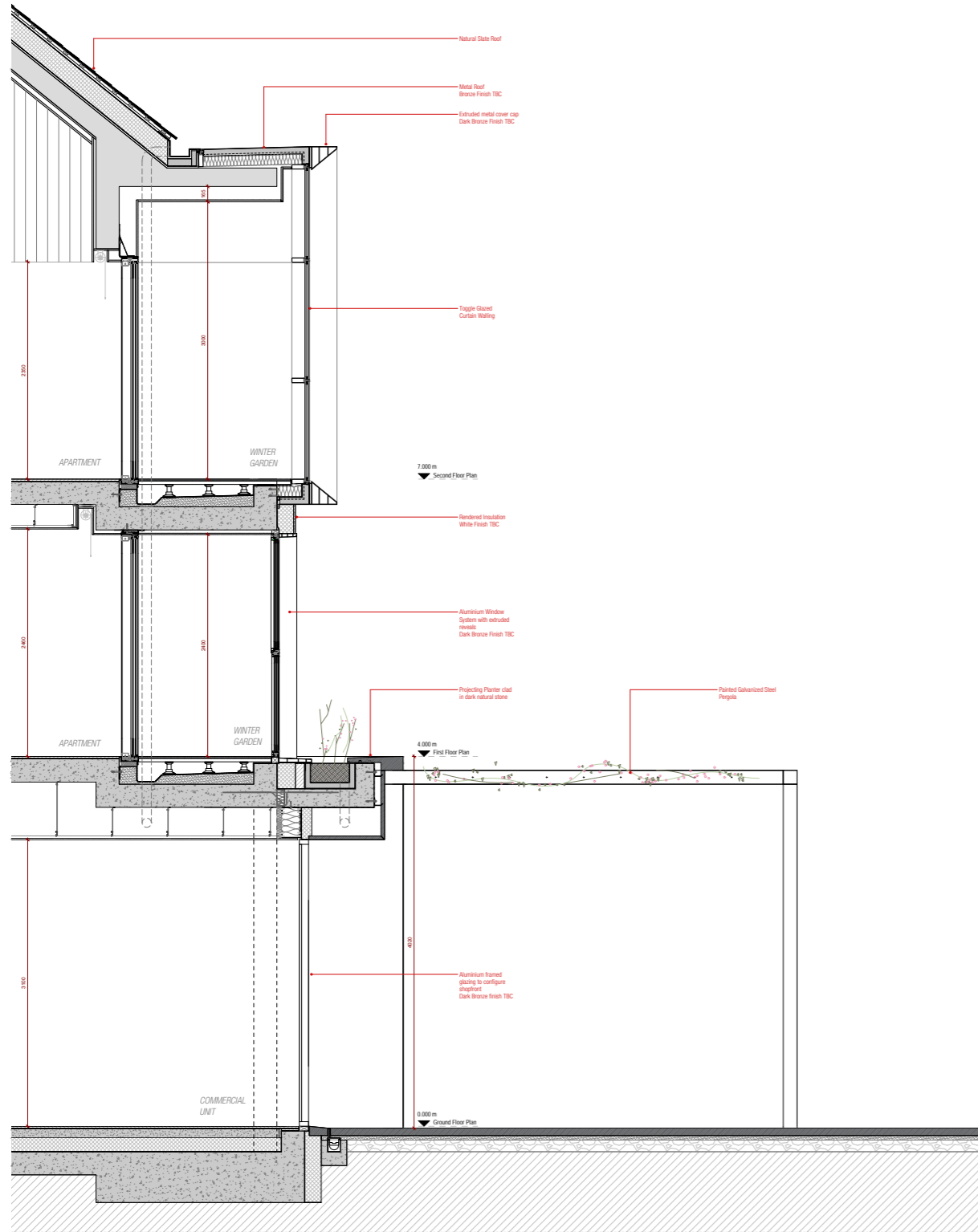
This isometric demonstrates the reduction of size of Block D as the form becomes more vernacular in cohesion with Abbey St streetscape. The block provides 9 total apartments, which sit above the cafe retail unit situated on the ground floor. This public zone re-activates the street front, and acts as an entry buffer to users accessing the new pedestrian route Balscadden road.

With the updated design careful consideration is given to detailing an elegant street front facade. The ground floor is clad in a dark granite, which integrates a deep stone portico used as a planter. A painted galvanized steel Pergola extends from the block, framing the facade. The upper floors are finished in a white render, with the roof clad in a dark natural slate tile congruent of the existing Baily Court Hotel. The windows are framed in dark bronze. The gutters and rainwater downpipes are concealed to maintain a clean & seamless facade. This is further detailed in the page following.

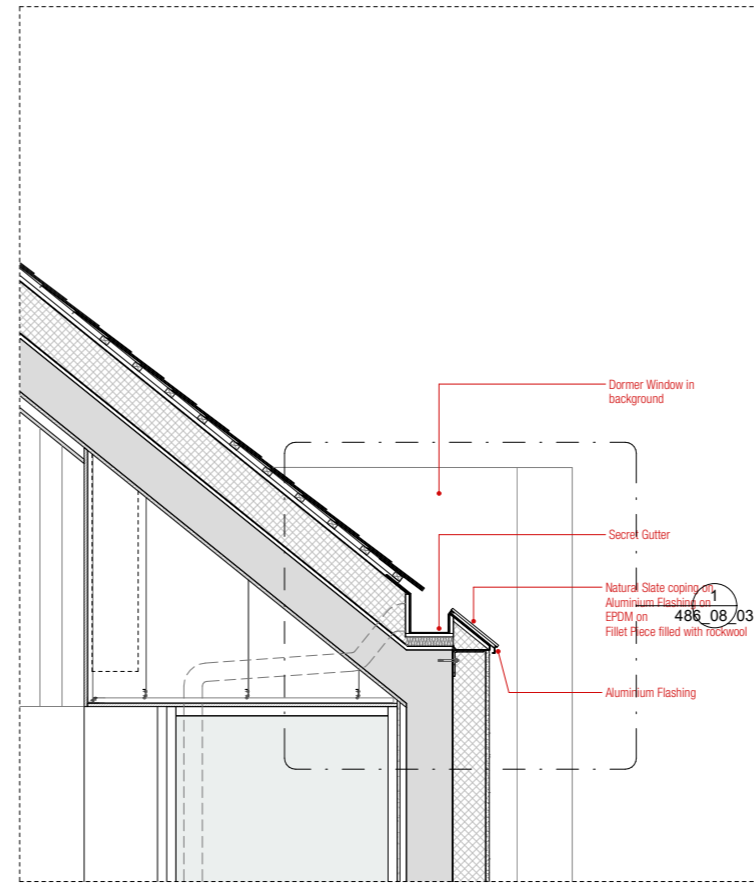


## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Section Detail



Secret Gutter Detail

### Block D Detailed Design

Section drawings are detailed to outline the material compositions and technical resolutions for the street facing facade for Block D. In order for the gutter to be concealed a triangular bulkhead is added along the perimeter of the facade, with slate tiles nailed to the surface. The rainwater downpipes are then concealed within bulkheads above the winter gardens, to ensure the entire drainage system does not have any visual impact upon the design.

## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### II .The relationship of the development to the Martello Tower

The development has been designed to step downwards with the topography of the site as it descends towards the sea. The development itself is positioned within a hollow. As the topography rises to the north of the development site, the Martello Tower remains perched on its promontory position, the development rising no higher than the Tower. The legibility of the Tower is not unduly compromised.

As can be seen from the Verified Images presented, the development is provided in a well fragmented series of volumes, materially harmonious with the surrounding built environment.

In addition to the manner in which the architectural massing has been moulded into the site to facilitate the ongoing prominence of the Martello Tower, the boundary relationship of Block B (the building that sits closest to the Tower, has been provided with a new line of boundary tree planting [Pinus nigra (Austrian pine)] in addition to the existing Cupressus macrocarpa (Monterey pine) located between the development and the Martello Tower. The Pinus nigra species was selected on account that it provides screening, however does not grow to an eventual height that it would dwarf the Martello Tower or obscure views to the Tower.



Proposed View C looking North



Proposed View D looking East

With regard to the impact of the proposed development on the close range views of the Martello Tower, the consultant historic building consultant Rob Goodbody surmises:

*"The northern section will be closest to the Martello tower and will be three-storey over the basement. There is a steep bank at the northern end of the site and this slope is to be cut into and held back by a retaining wall. The difference in levels between Block B and the Martello tower will ensure that the building will be relatively low when seen from the tower, as seen in View V9 submitted with the application. The proposal to plant trees along the northern margin of the application site, alongside the proposed Block B will further reduce the visibility of the building as seen from the Martello tower and its surrounding lands. Views V10, V16, V18 and V20 submitted with the application show the proposed Block B in the context of the Martello tower and demonstrate that the building will not have an adverse effect on its character or setting."*

Please refer to the EIAR chapter for more details on this.



Site Plan: View C & D

## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



Proposed View E looking North-West



Proposed View F looking West

### II .The relationship of the development to the Martello Tower

With regard to the impact of the proposed development on the distant and intermediate views of the Martello Tower, the consultant historic building consultant Rob Goodbody surmises:

*"...the views of the Martello tower from various points around Howth vary considerably. In some places the tower is barely visible because of the significant scarp at the edge of the grounds of the tower and from these locations the application site would not be visible. In the distant views, such as those from the further points along the piers and from the extreme distance of Ireland's Eye the tower becomes almost invisible as its muted colour blends into the background, while the houses in Howth and its suburbs are more visible. In these views the proposed development would be visible, though not noticeable, given the backdrop of other houses, while the Martello tower would not be particularly visible and hence the proposed development would have little or no impact on the setting of the tower. At intermediate distances the tower is visible against the skyline, while the application site is obscured either by the high ground on which the tower stands or by the buildings in Abbey Street and the trees behind."*

Please refer to the EIAR chapter for more details on this.



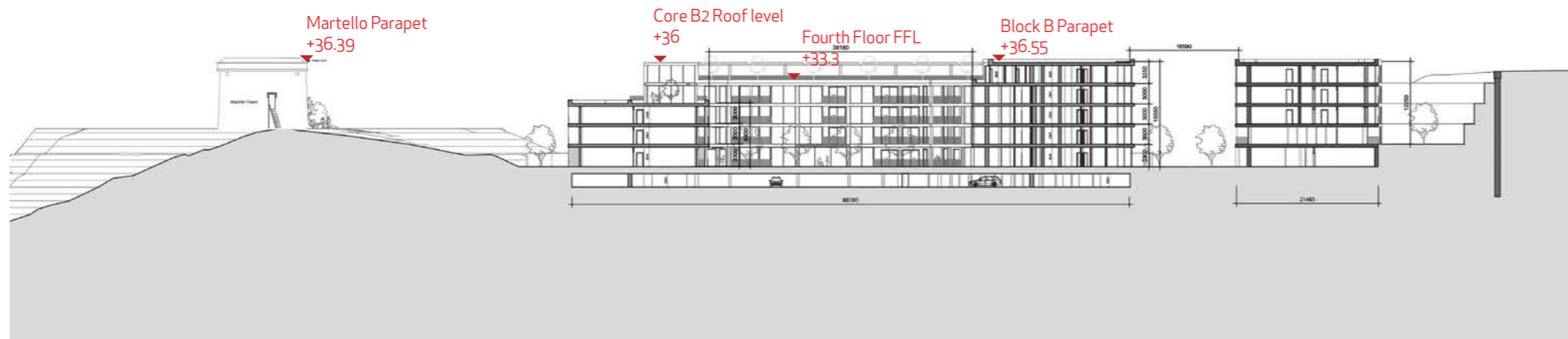
Site Plan: View E & F

## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

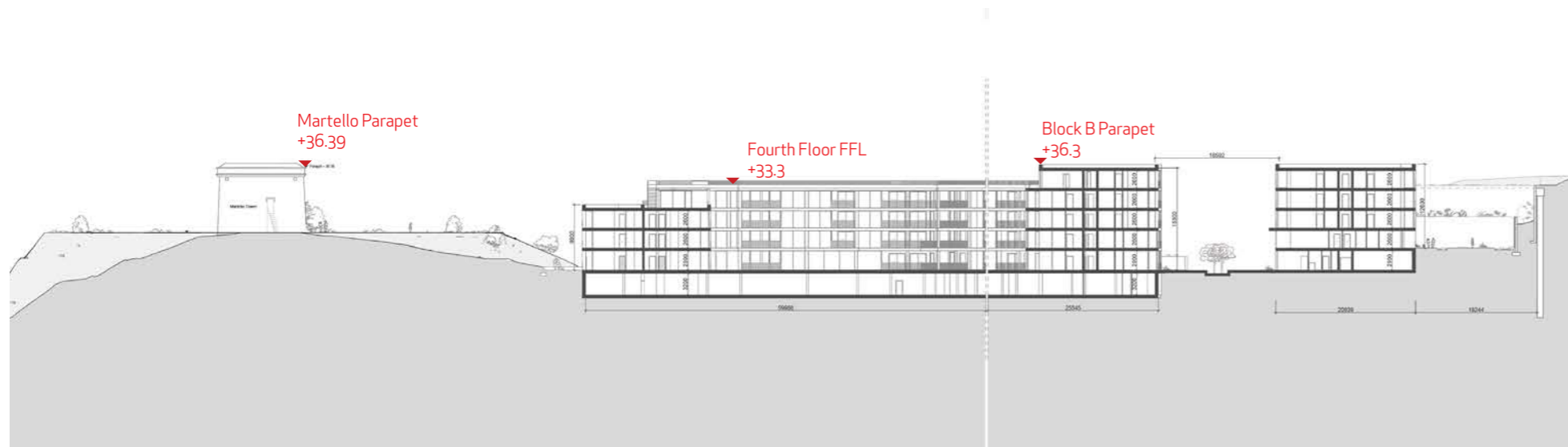
Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### II .The relationship of the development to the Martello Tower

In addition to the changes made to Block D there have been some amendments to Block B with the intention of integrating the Block more suitably into the landscape. The height of the Core B2 extension has been reduced so that it no longer extends above the fourth floor. This reduces the visual impact of the roofscape as a whole, while respecting the site line of the adjacent Martello tower. In addition the fourth floor pergola has also been omitted. The the fourth floor parapet now sits at +33.8m with the finish roof parapet levelsitting just below the Martello parapet at +36.3m. The lessening of this visual impact can be seen in the site sections to the left, and on the page following.



Site Section B - Previous Block B design

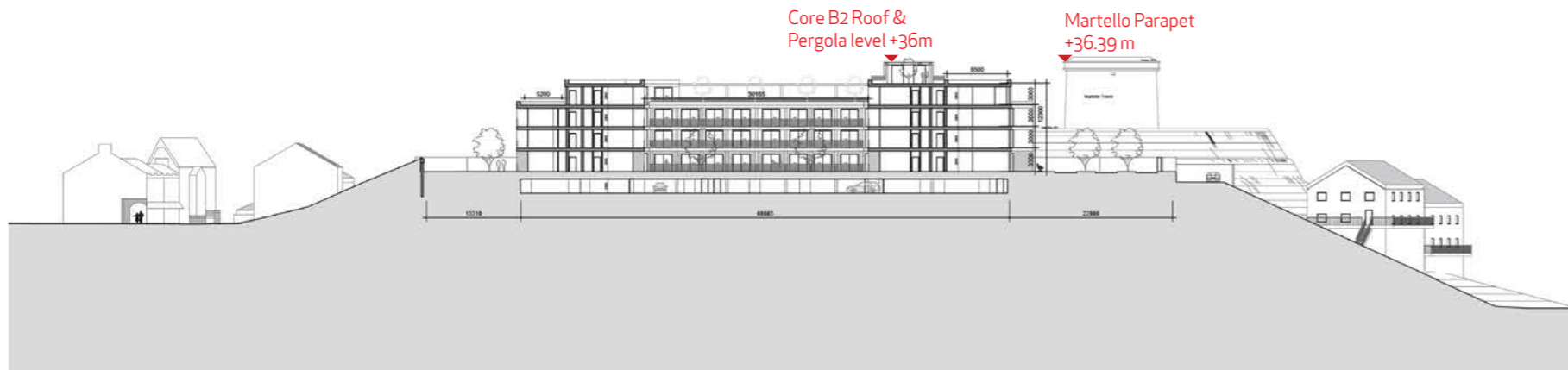


Site Section B- Amended Block B design

## 4.PROGRESS IN DESIGN - AMENDMENTS RESPONDING FROM ABP OPINION

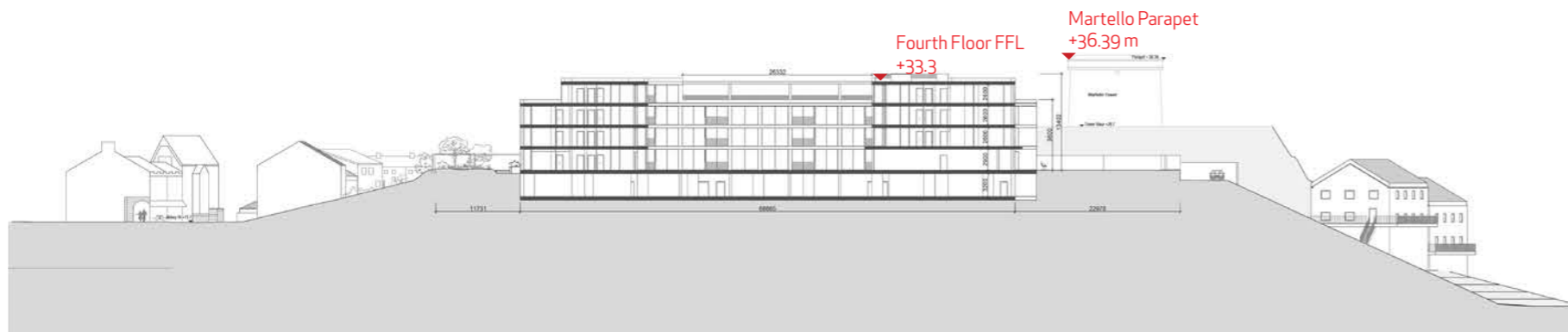
Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### II .The relationship of the development to the Martello Tower



- Roof + 36.55,
- Fourth Floor +33.3,
- Third Floor +30.3,
- Second Floor +27.3,
- First Floor +24.3,
- Ground Floor +21,
- Basement Floor + 18.

Site Section A - Previous Block B design



- 36.55m
- 36.39m
- 33.3m
- 30.3m
- 27.3m
- 24.3m
- 21.0m
- 18.0m

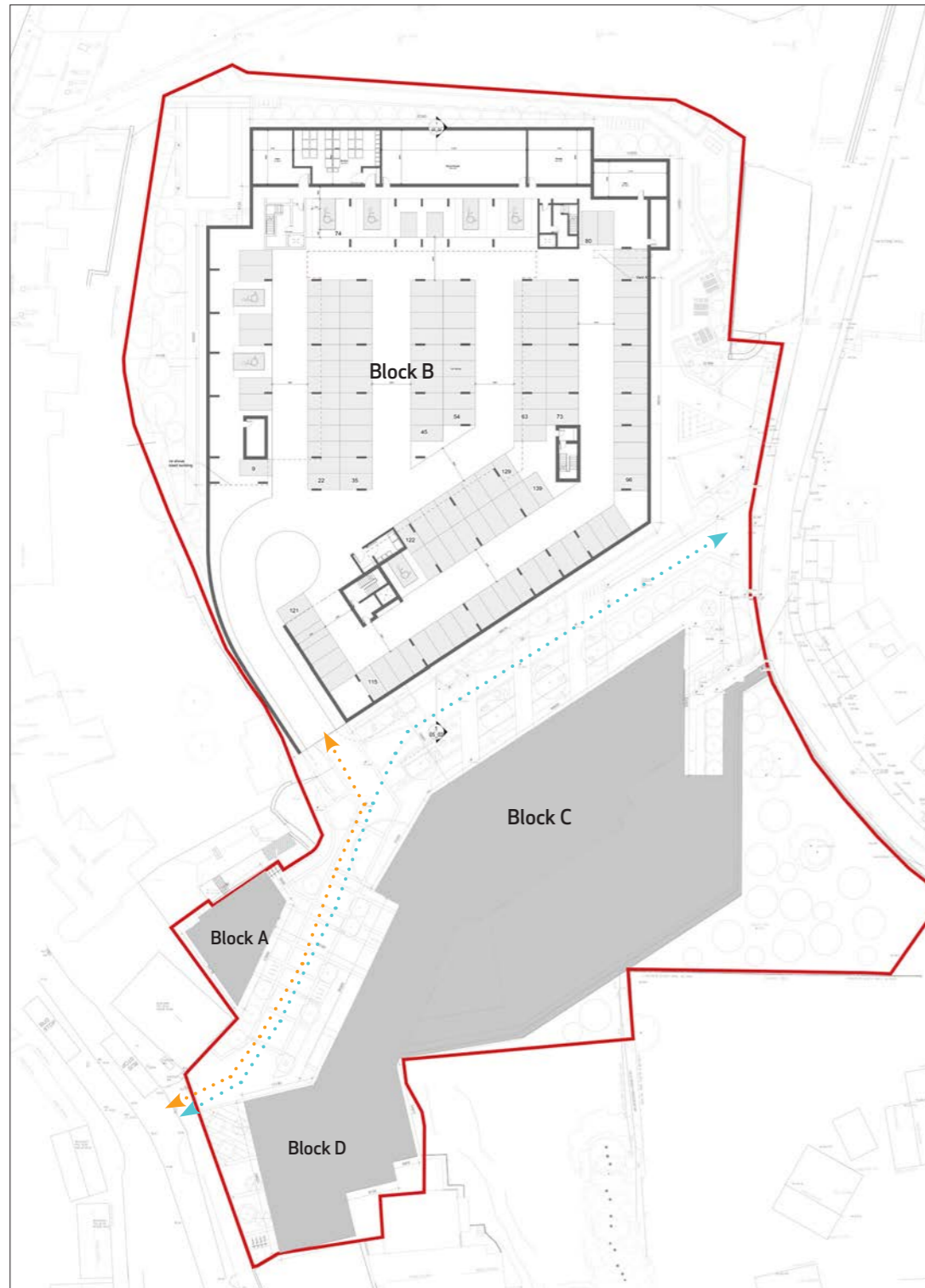
Site Section A- Amended Block B design

# 5. PROPOSED ARCHITECTURAL DRAWINGS

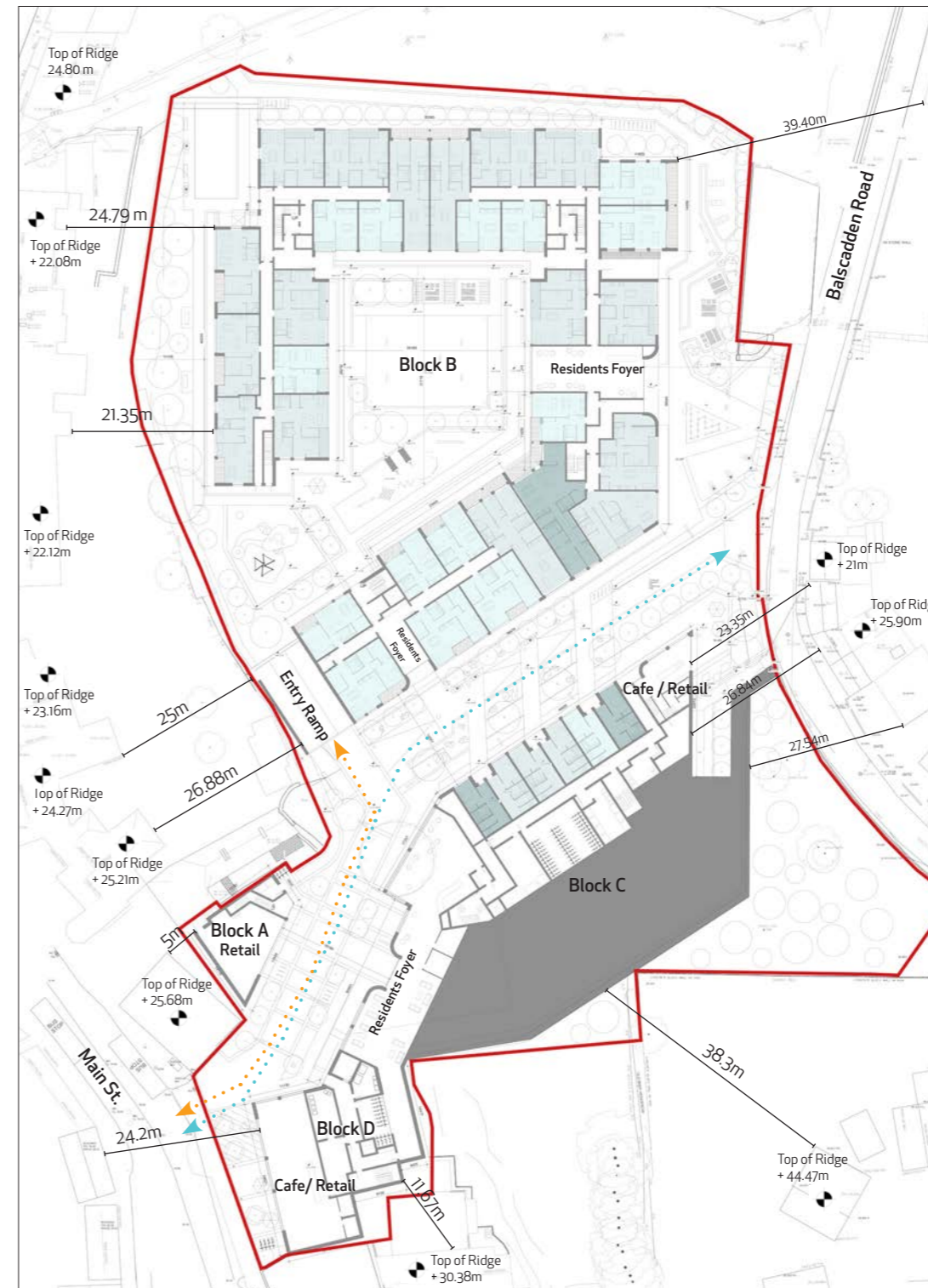
Site on the Balscadden Road & Main Street | Howth | Co. Dublin

## V. PROPOSED PLANS

Proposed Scheme plans -  
Please refer to Architectural drawing pack for more detailed plan drawings.



BASEMENT PLAN




GROUND FLOOR PLAN

KEY

- Pedestrian Route .....
- Vehicular Access - - - - -

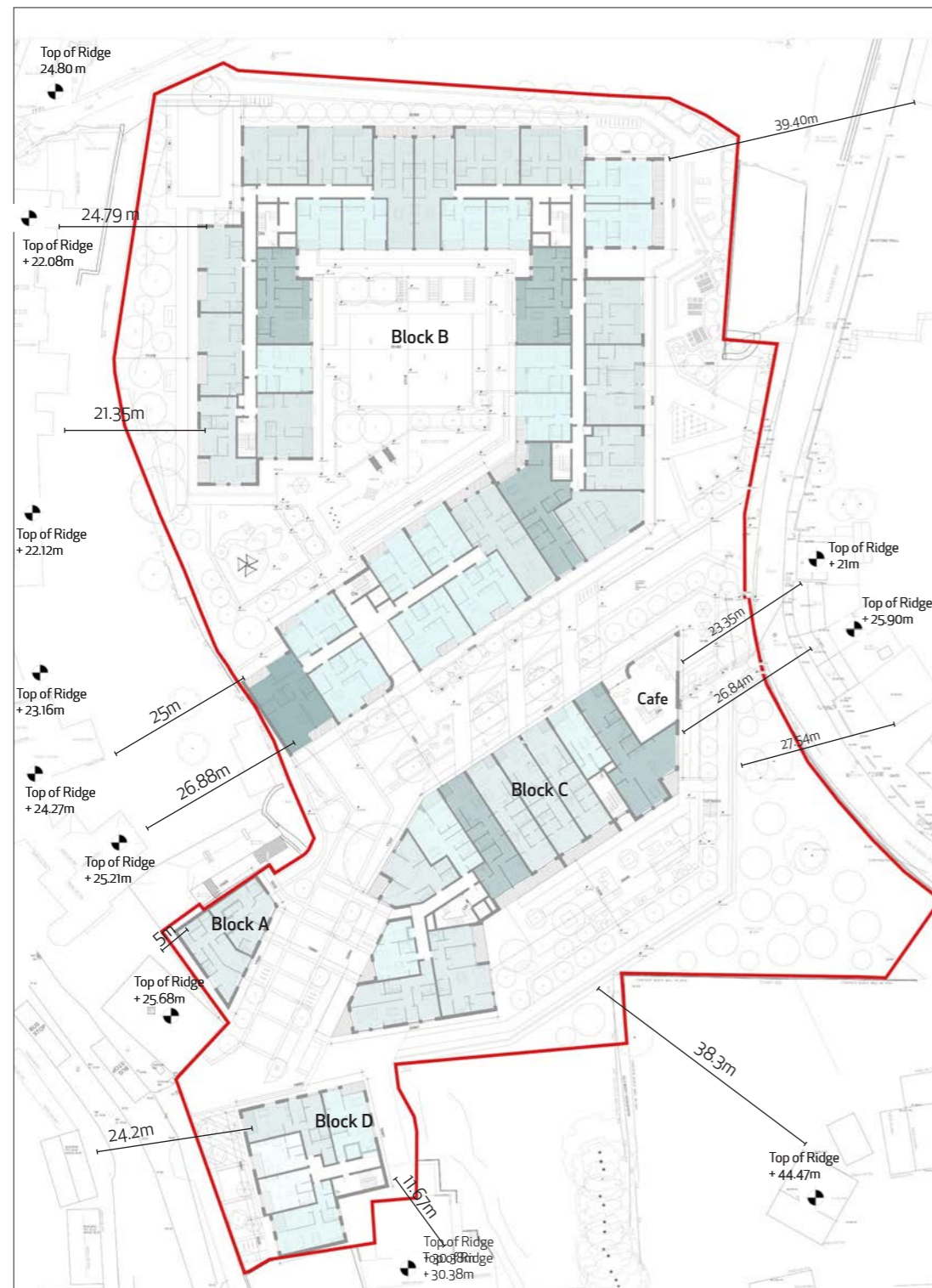
NORTH



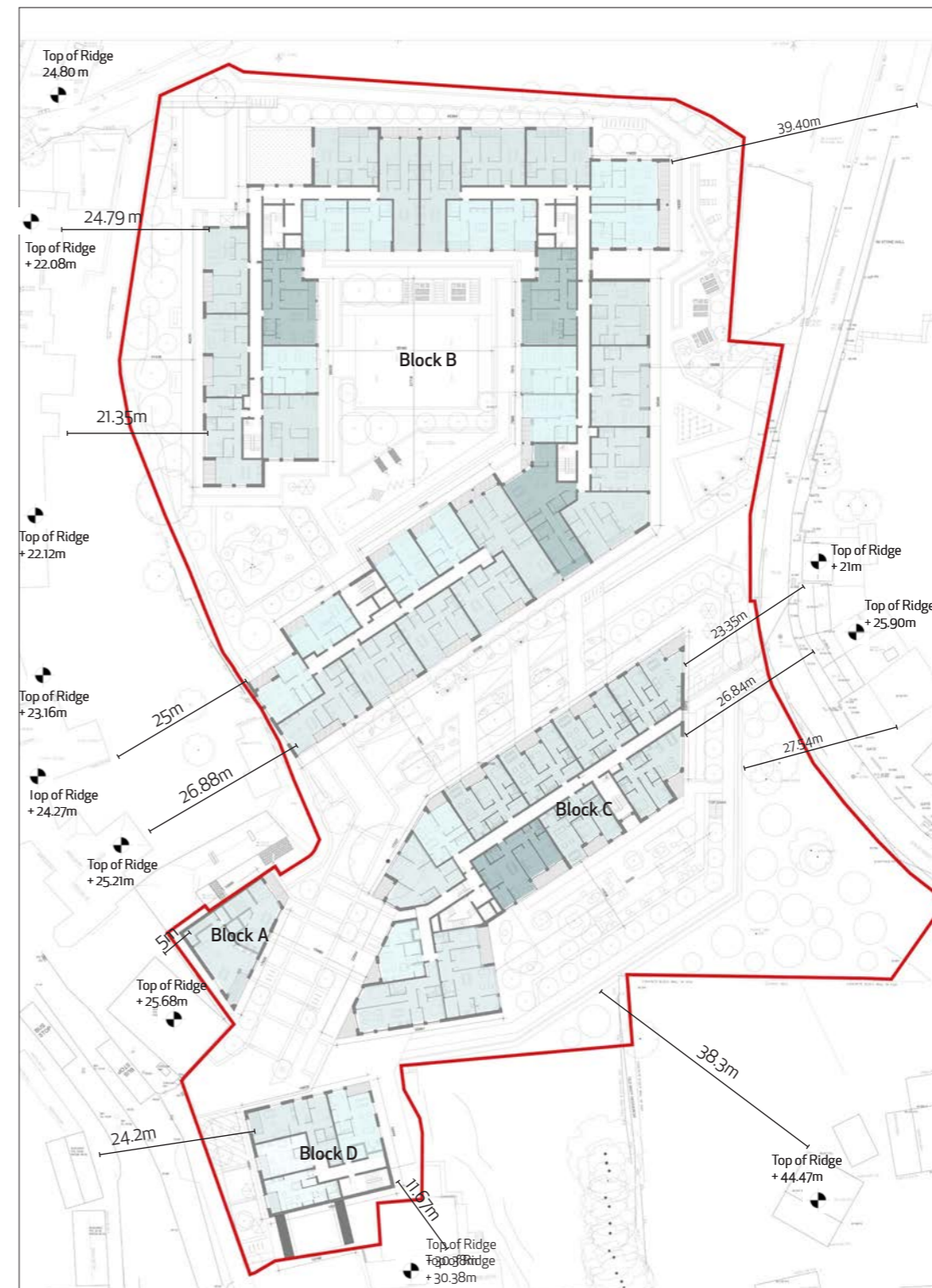
- Studio
- 1-Bed
- 2-Bed
- 3-Bed

# 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



FIRST FLOOR PLAN



SECOND FLOOR PLAN

**KEY**

- Pedestrian Route .....
- Vehicular Access .....
- Studio
- 1-Bed
- 2-Bed
- 3-Bed

**NORTH**

# 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



THIRD FLOOR PLAN



FOURTH FLOOR PLAN

KEY

- Pedestrian Route .....
- Vehicular Access .....
- Studio
- 1-Bed
- 2-Bed
- 3-Bed

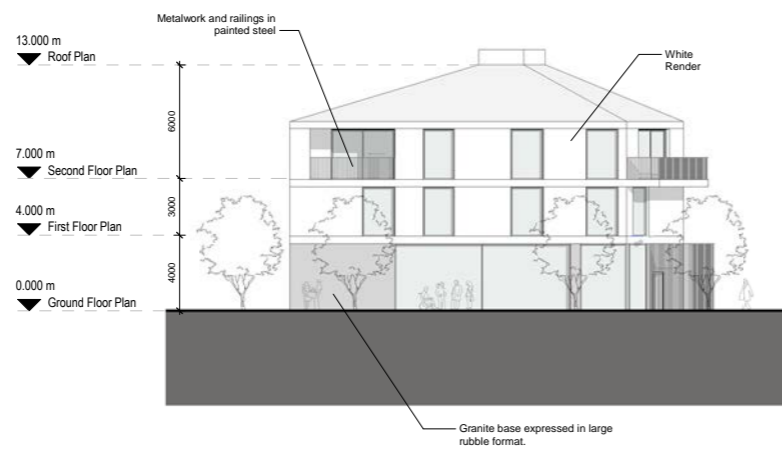
NORTH



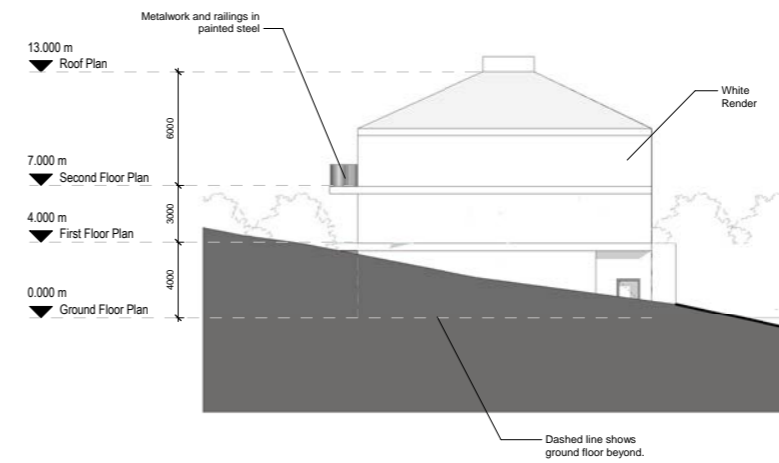
## 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

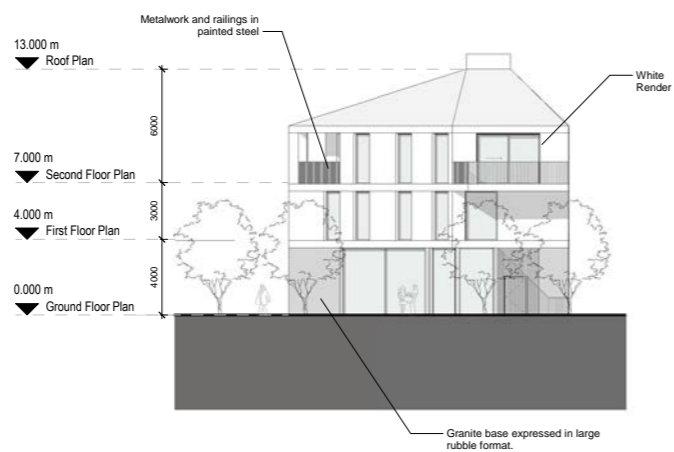
### VI. Proposed Elevations - Block A



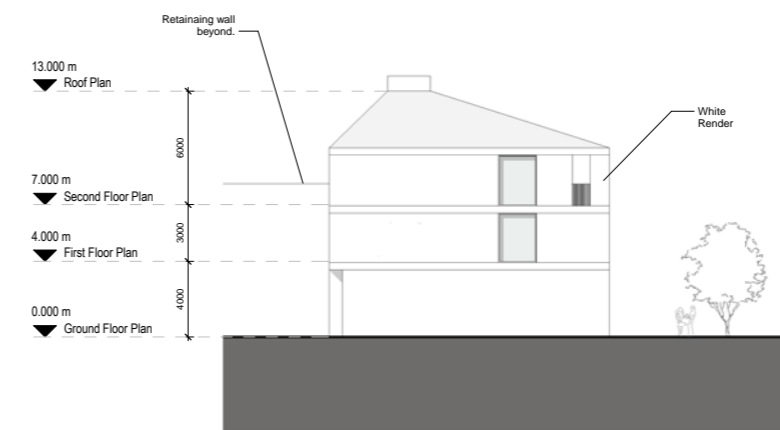
South Elevation



North Elevation



East Elevation

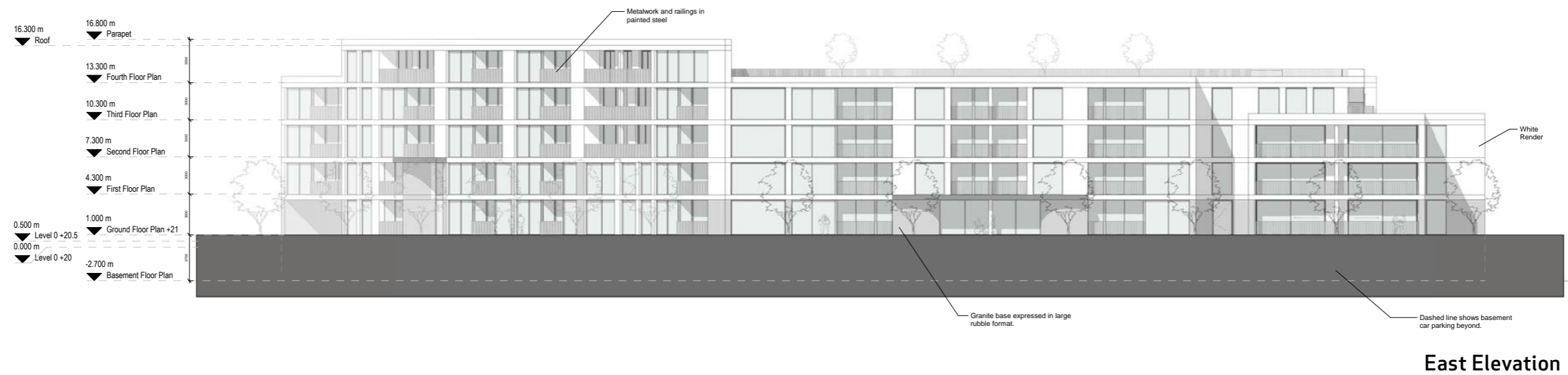
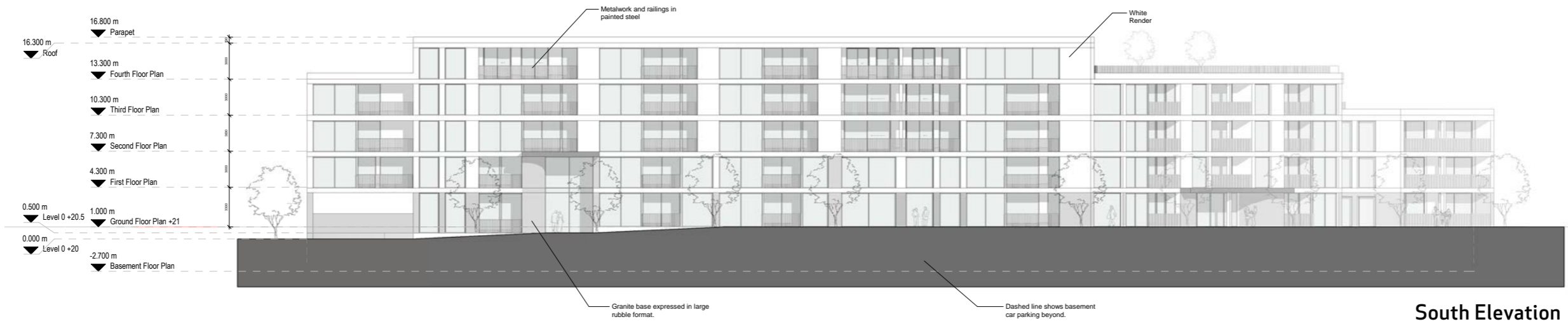


West Elevation

# 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

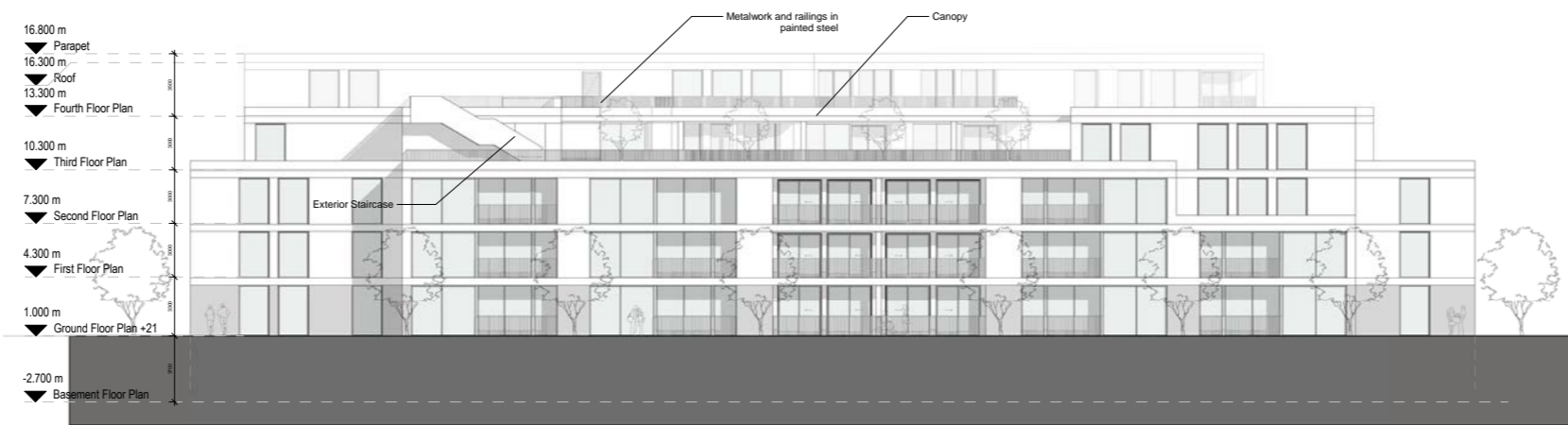
## VI. Proposed Elevations - Block B



# 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

## VI. Proposed Elevations - Block B



North Elevation

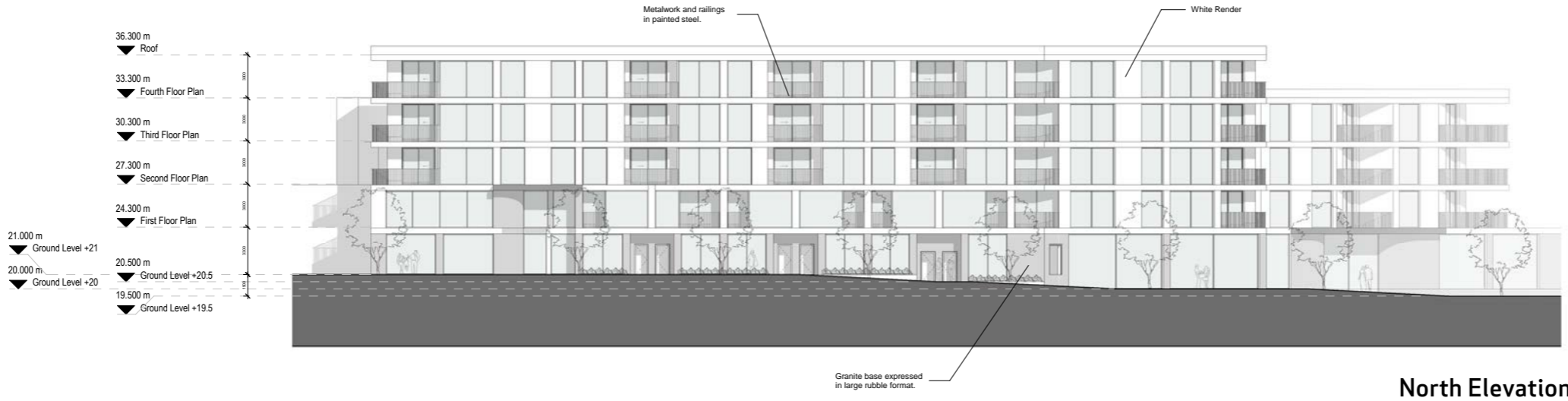


West Elevation

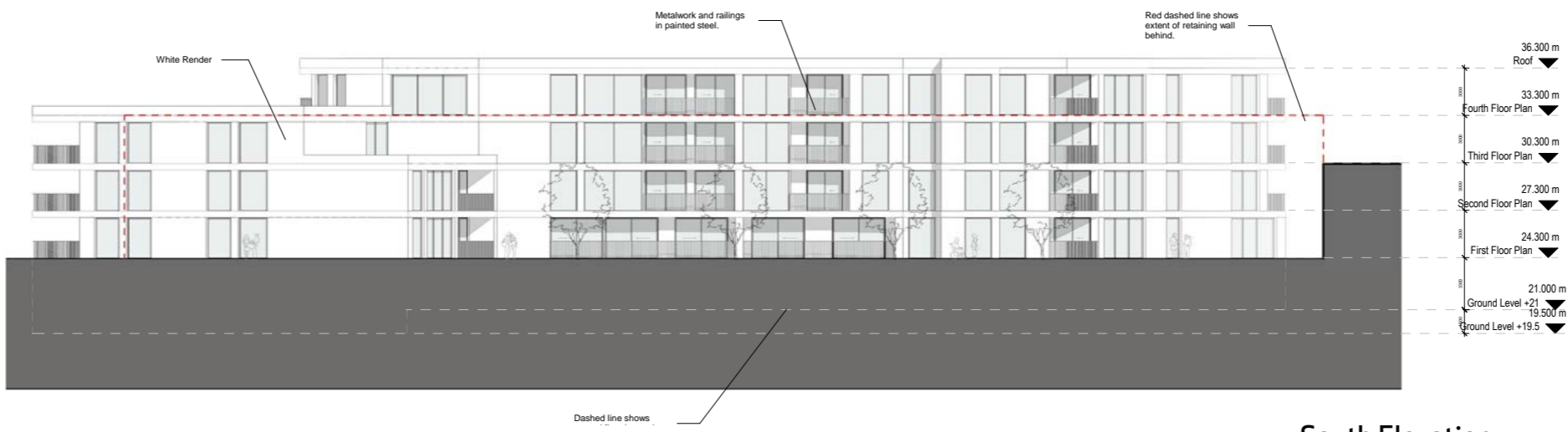
# 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

## VI. Proposed Elevations - Block C



North Elevation

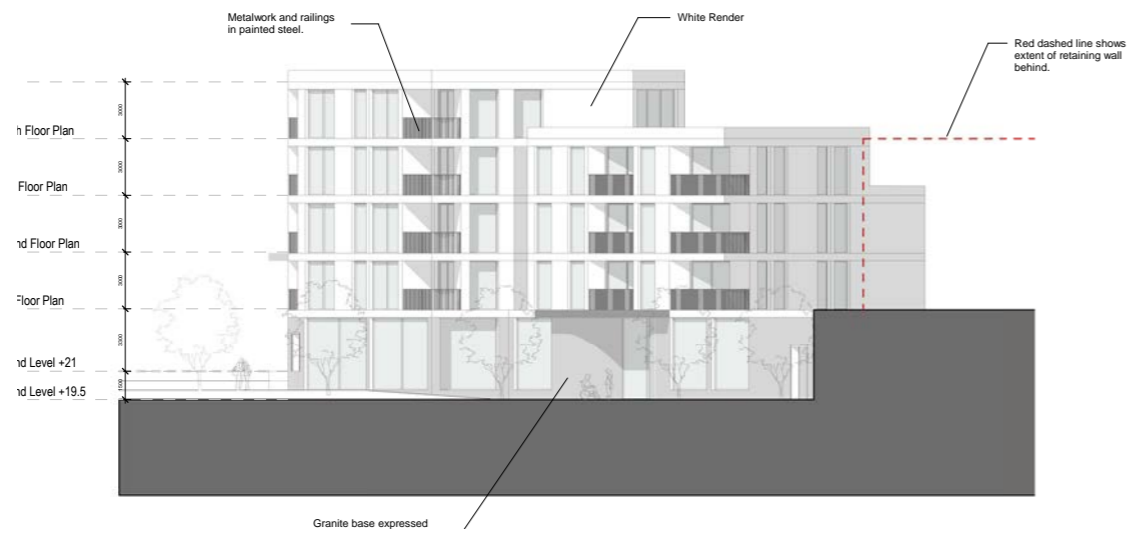


South Elevation

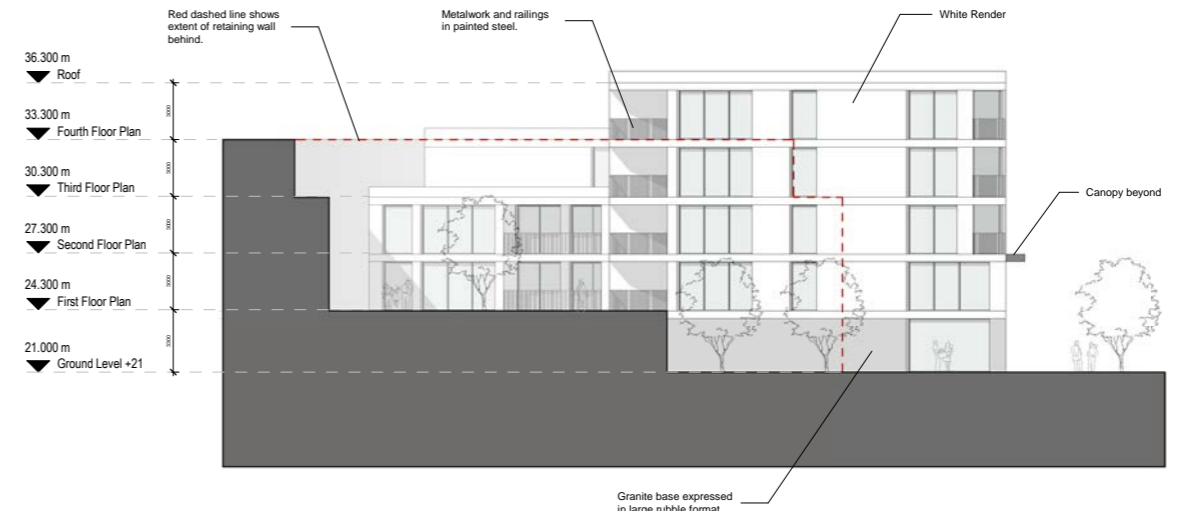
## 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### VI. Proposed Elevations - Block C



West Elevation

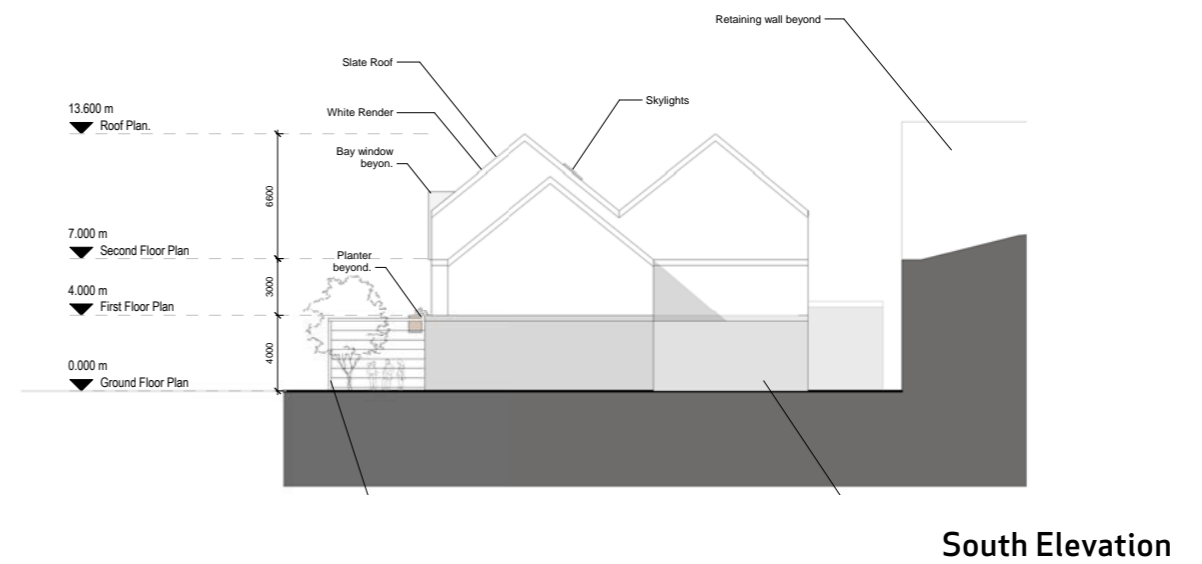
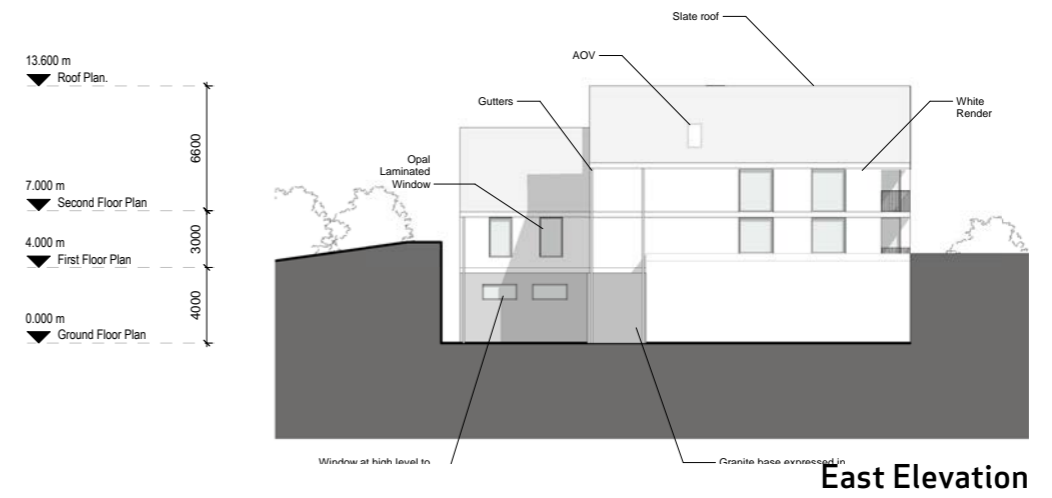
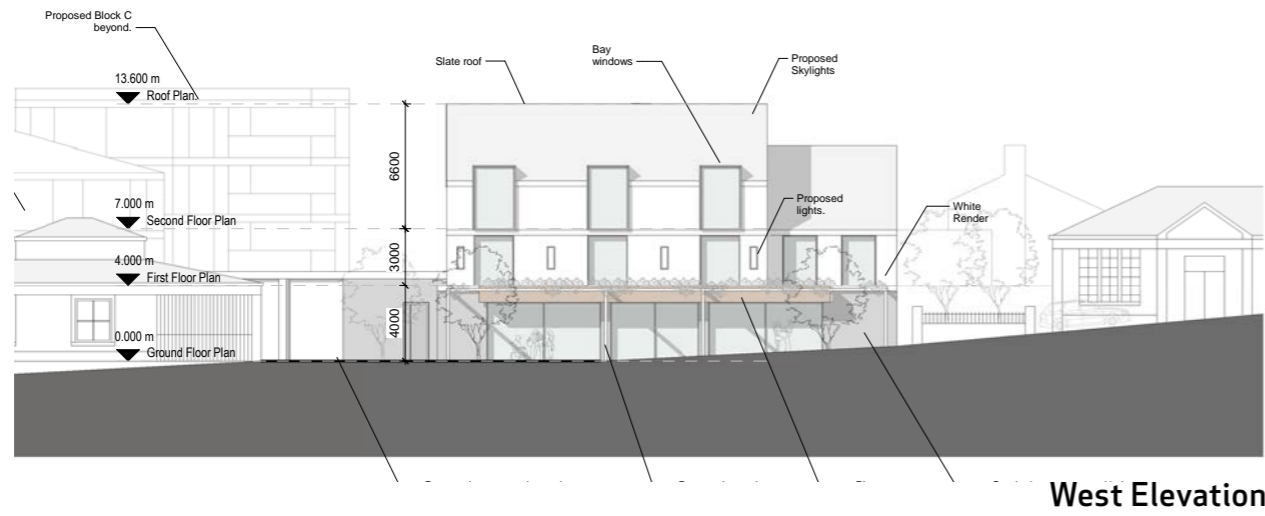


East Elevation

## 5. PROPOSED ARCHITECTURAL DRAWINGS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### VI. Proposed Elevations - Block D



## 6. DEVELOPMENT STANDARDS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### I. Residents Communal Open Space & private amenity space



COS Plan

Communal open spaces are provided in large communal Courtyards in the centre of both Block C and Block B, in addition to landscaped roof terraces. There is also the addition of 4 play areas, dedicated young persons and older children. These areas include a croquet lawn, suitable for play-for-all-ages. It also is the formally planted central lawn to the courtyard and is bound by planting & the seating pavilion. A boules court is also proposed to the north west of the site, with chess & checkers seating points, which is again a play-for-all-age provision. These amenity spaces are accessible to residents residing in all blocks.

The Sustainable Urban Housing: Design Standards for New Apartments, Guidelines for Planning Authorities (December 2020) requires a quantum of communal open space for Studio/1/2/3 beds units at 4/5/7/9msq respectively. Based on the propose quantum of development proposed, this is calculated at 1174 msq, therefore the Communal Open Space proposed at 4108 msq is sufficient.

Private balconies and winter gardens are provided in each apartment, in accordance with DoEHLG Sustainable Urban Housing: Design Standards for New Apartments (December 2020). These private amenity spaces exceed the minimum requirements, and are screened with glass and Aluminium. These balconies generally are positioned towards Balscadden bay where possible, in order to take advantage of these sea views.

Apartment type	No. apartments	msq	Area requirement
Studio	4	4	16
1 bed	62	5	310
2 bed	89	7	623
3 bed	25	9	225
<b>Total</b>			<b>1174</b>

I. Communal Open Space Required

Communal Open Space	msq
Block B Third Flr Roof Terrace	816
Block B Fourth Flr Roof Terrace	856
Block B Games Lawn	390
Block B Childrens play area	315
Block B Open Space	1281
Block C Courtyard	450
<b>Total</b>	<b>4108</b>

II. Communal Open Space Provision



## 6. DEVELOPMENT STANDARDS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



POS & COS Plan at Ground & First Floor Level



### II. Public Open Space provision

Policy DMS 57 of the Fingal County Development Plan 2017/2023 requires a minimum public open space provision of 2.5 hectares per 1,000 population. DMS57A also states that open space should be 10% minimum of the total site area (1.43 hectares). This requirement is met by providing public open space at a total of 1470 sqm. DMS 57A is satisfied through a number of Public open spaces detailed below.

The first being the provision of a new landscaped plaza (POS4), to the east of the site overlooking Balscadden bay. This area will be complete with public seating, art sculptures and information zones for pedestrians (see landscape design statement for more information).

POS3 provides the public with an new external space which services the cafe, complete with natural stone paving & external seating, which is available to the public and is not commercially private. This area is not intended to be commercially private.

POS2 is the provision of a new public pedestrian zone linking Abbey St to Balscadden St. This public space will be softly landscaped, and lined with water features & sculptures (see landscape design statement for more information).

POS 1 is a new public realm which services the cafe & retail unit to the facade facing Abbey St. This area is softly landscaped and provides a covered seating area for the public to meet / sit /shop along the Main St. This area is also not intended to be commercially private.

Public Open Space	msq
POS1	135
POS2	387
POS3	137
POS4	811
<b>Total</b>	<b>1470</b>

III. Public Open Space Provision



## 6. DEVELOPMENT STANDARDS



Block B Basement Plan

### III. Car Parking

Private car parking spaces will be provided in a single Basement Car Park below Block B. In total, 139 parking spaces are provided. This figure comprises of 132 residential spaces and 7 accessible spaces.

Please see the Traffic & Transport Assessment for more information

### IV. Bike Parking

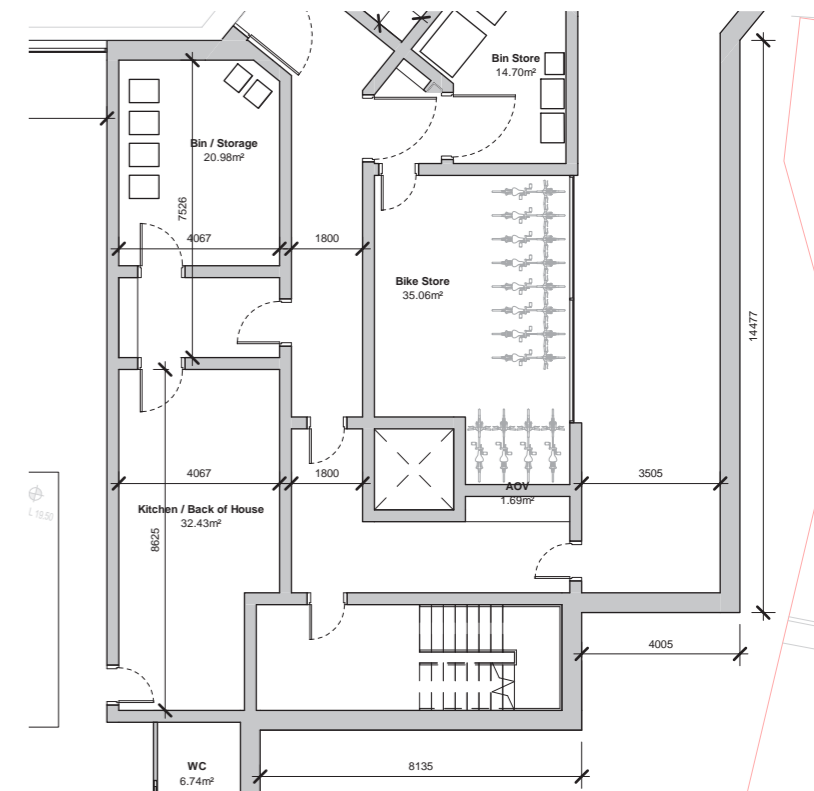
Bicycle parking for residential use in excess of 1 space per bedroom is provided (in accordance with Sustainable Urban Housing: Design Standards for New Apartments. Guidelines for Planning Authorities, December 2020).

Secure bicycle parking areas are provided for every block, with Block B, C & D providing interior spaces at Basement and ground floor levels. Block A bicycles can be accessed and stored in the secure exterior courtyard provided. Visitor spaces are also provided in satisfying the Sustainable Urban Housing: Design Standards for New Apartments. Guidelines for Planning Authorities.

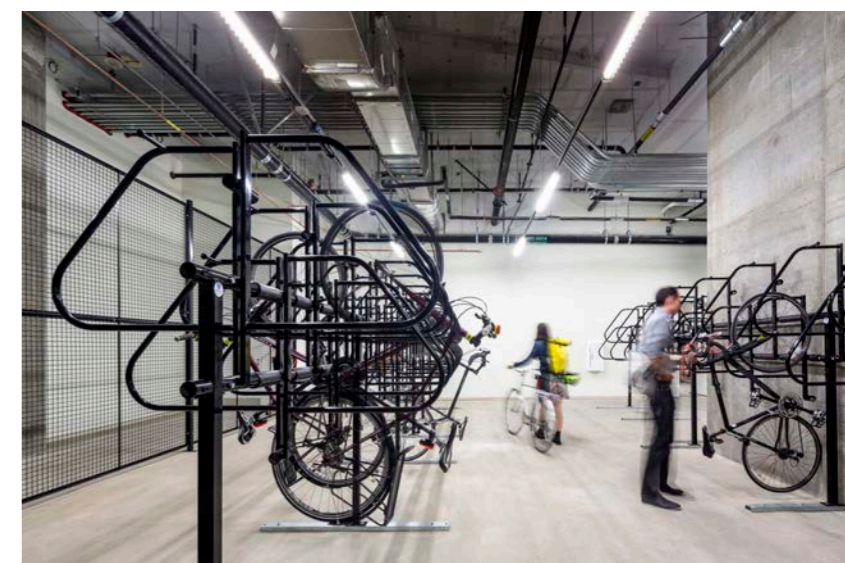
In total 410 bicycle parking spaces are provided across all the blocks in a number of secure parking areas. This number surpasses the amount required, as indicated in the Table A below. The total spaces provided comprises of 319 resident spaces and 91 visitor spaces. These spaces will be provided at both basement (290 spaces) and ground level (120 spaces).

Apartment type	No. apartments	Cycle Provision	Area requirement
Studio	4	1	4
1 bed	62	1	62
2 bed	89	1	178
3 bed	25	2	50
<b>Total</b>	<b>180</b>		
Visitor Parking to be provided at a ratio of 1 per 2 apartments			90
<b>Total Cycle Req.</b>			<b>384</b>

Table A



Block D - Bike Provisions



## 6. DEVELOPMENT STANDARDS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

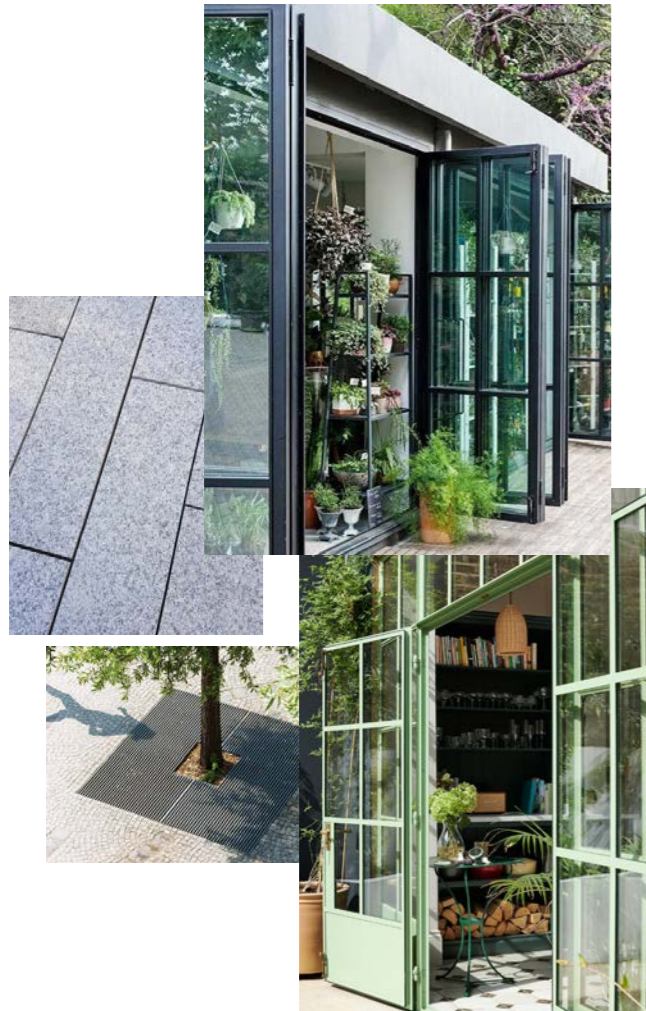
### V. Residential Amenities & Other Uses

On site there are several amenities the residents & public can take advantage of. Block D facing the main street proposes a Cafe/ food store unit to reinject life back into this corner, where the former Baily Court hotel once was. A Glazed ground floor facade opens up to the street, and public external seating provided for a new small civic space on Howth Main St. The cafe will double as a small boutique food store which residents can conveniently access. There is also a 2 storey cafe/ retail unit located at North East corner of Block C. The cafe is located at ground level, with seating at level 1, where floor to ceiling glazing allows for uninterrupted views over the Bay.

Block A also provides a small retail space on the ground floor, with glazing that opens up to the street, enabling the new pedestrian route to feel like part of the urban streetscape.

There is an entry foyer to each residential block as well as two bespoke reception area's and residential lounge's located in both Block B and C.

Other amenities include 2 Roof terraces, private water & sculpture gardens, games lawn for communal recreation, play zones & playground for children (Please see Landscape Design Statement & inclosed landscape plan for more information on these.)

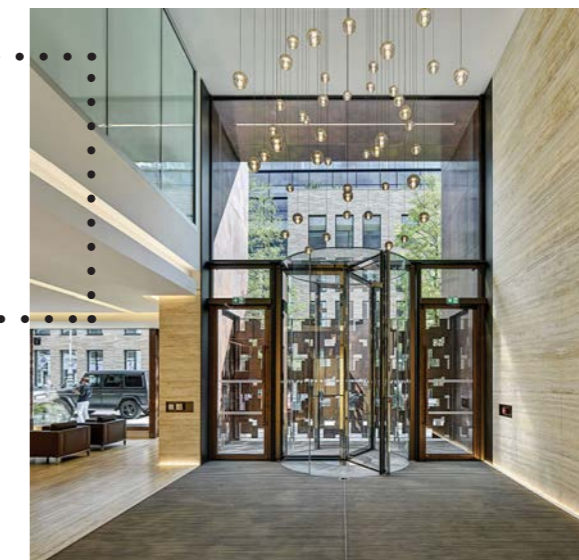
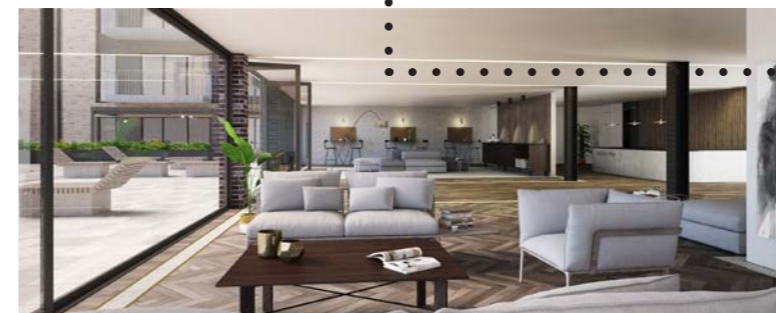


Cafe's / Food Store



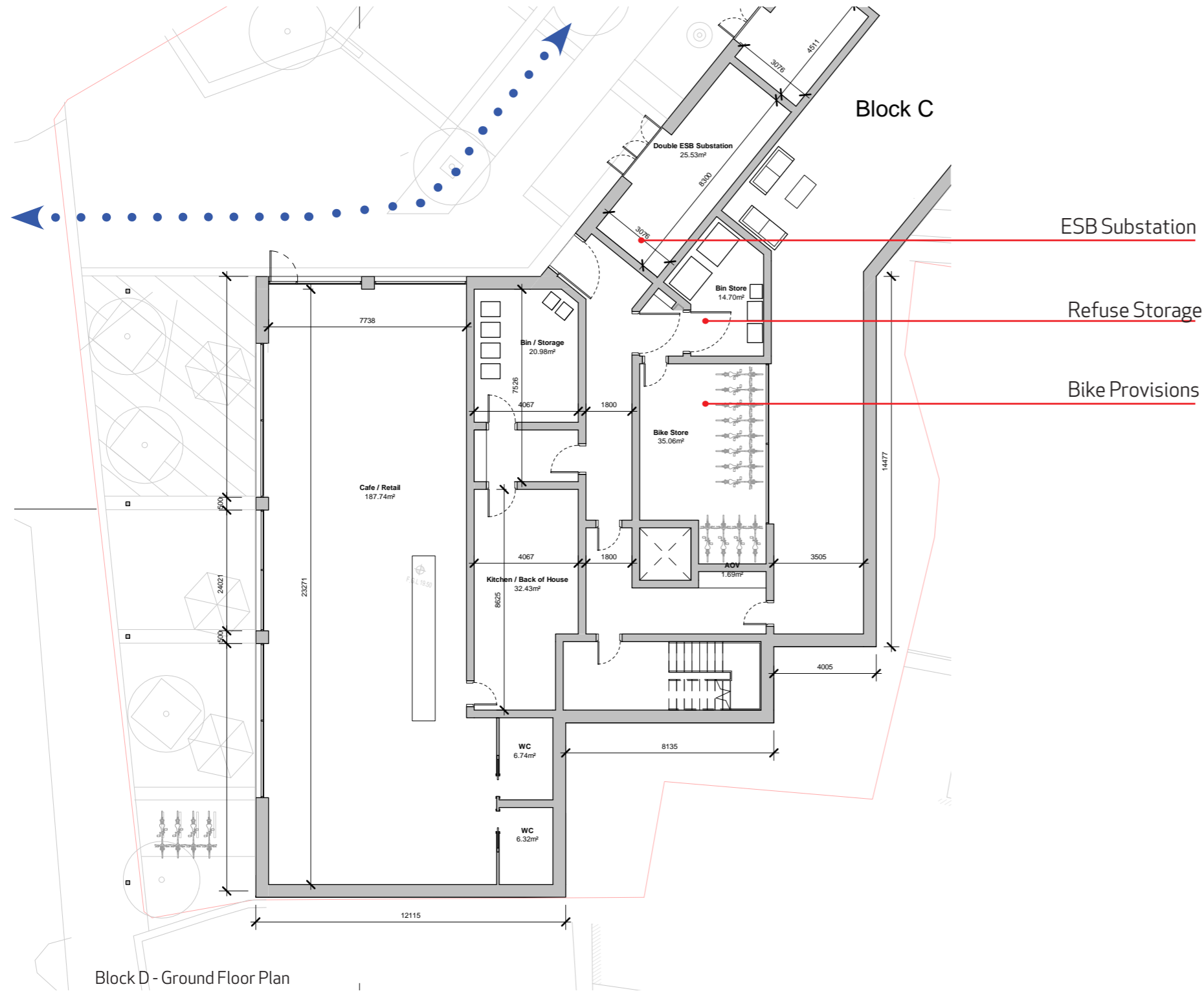
Residents Foyer's

Retail Unit



## 6. DEVELOPMENT STANDARDS

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



### VI. Refuse Storage , Collection & ESB Sub station

Communal bin stores are provided for each apartment building and their locations indicated on the Floor Plan drawings. Bin stores are located internally with the exception of Block A, and are located conveniently for access for residents. Block B Refuse storage is located at basement level, adjacent to the bike parking facilities and can be accessed by either of the five cores. Block A, C and D refuse storage are located at ground level & at a maximum of 50 metres horizontal travel distance from the front door.

Bins will be collected on Howth Main St by the management company.

The ESB Substations are housed in the south west corner of the plot of Block C and can be accessed from the street easily.

Please see the Engineering & Environmental reports for more information.

### VII . Min Floor Areas

All apartments and duplexes have been designed to accord with the current Development Plan 2017-2023 and Sustainable Urban Housing: Design Standards for New Apartments (Dec 2020), complying with or exceeding the minimum standards. The majority of apartments in the proposed scheme exceed the minimum standards by a minimum of 10%, as per the Sustainable Urban Housing Guidelines (Dec 2020). Please refer to Housing Quality Audit (HQA) for more information on the scheme.

## 7. SOCIAL & AFFORDABLE HOUSING

Site on the Balscadden Road & Main Street | Howth | Co. Dublin



FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

### KEY

- 3 Bed
- 2 Bed
- 1 Bed

### Part V

The Development Plan Housing Strategy stipulates a requirement of 10% social housing for all lands zoned residential or a mixture of residential and other uses. Within the scheme there are

18 units will be provided, with a total of 11 in Block C, 5 in Block D and the remaining 2 occupying the entirety of Block A. As the total number of residential units remains at 180 apartments, the Part V requirement is met for this planning application, providing a sufficient social & affordable housing.

The proposed mix is indicated in the table below.

Part V Proposed Mix				
Studio	1-Bed	2-Bed	3-Bed	Total
0	8	9	1	18
0.00%	44.44%	50.00%	5.56%	100.00%

## 8. DEVELOPMENT SCHEDULES

BALSCADDEN SCHEDULE OF ACCOMODATION							
Block	Level	Unit No.	No. Of Bedrooms	Floor Area (Sqm)	Bike Parking	Car Parking	Proposed Part V
BLOCK A	Ground Floor	0	0	0	0		-
	Level 01	1-1	2	137.3	2		Yes
		1-2	2	105.8	2		Yes
	Visitor Parking				1		
	<b>TOTAL</b>	<b>2</b>	<b>4</b>	<b>243.1</b>	<b>5</b>	<b>-</b>	

Non- Residential Use	Floor Area (Sqm)
Retail	106.35
<b>TOTAL</b>	<b>106.35</b>

BLOCK B	Ground Floor	G-1	2	69.2	2		No	
		G-2	2	73.5	2		No	
		G-3	1	52.7	1		No	
		G-4	2	74	2		No	
		G-5	2	81.5	2		No	
		G-6	2	76.9	2		No	
		G-7	2	78	2		No	
		G-8	1	45.3	1		No	
		G-9	2	78	2		No	
		G-10	1	45.3	1		No	
		G-11	2	83.4	2		No	
		G-12	2	83.4	2		No	
		G-13	1	45.3	1		No	
		G-14	2	78	2		No	
		G-15	1	45.3	1		No	
		G-16	2	78	2		No	
		G-17	1	64.6	1		No	
		G-18	1	64.6	1		No	
		G-19	2	81.18	2		No	
		G-20	2	78	2		No	
		G-23	1	54.5	1		No	
		G-24	2	85.7	2		No	
		G-25	3	120.7	3		No	
		G-26	2	83.6	2		No	
		G-27	3	109.5	3		No	
		G-28	1	52.6	1		No	
		G-29	1	78	1		No	
		G-30	1	52.6	1		No	
		G-31	1	78	1		No	
		G-32	1	54.6	1		No	
		G-33	1	78.4	1		No	
		Level 01	1-1	2	77.3	2		No
			1-2	2	73.5	2		No
	1-3		1	52.7	1		No	
1-4	2		75	2		No		
1-5	3		100	3		No		

Entry Foyer & Concierge	Floor Area (Sqm)
Entry Foyer & Concierge	127.05

## 8. DEVELOPMENT SCHEDULES

Block	Level	Unit No.	No. Of Bedrooms	Floor Area (Sqm)	Bike Parking	Car Parking	Proposed Part V	Non- Residential Use	Floor Area (Sqm)		
BLOCK B		1-6	2	76.9	2		No				
		1-7	2	78	2		No				
		1-8	1	45.3	1		No				
		1-9	2	78	2		No				
		1-10	1	45.3	1		No				
		1-11	2	83.4	2		No				
		1-12	2	83.4	2		No				
		1-13	1	45.3	1		No				
		1-14	2	78	2		No				
		1-15	1	45.3	1		No				
		1-16	2	78	2		No				
		1-17	1	64.6	1		No				
		1-18	1	64.6	1		No				
		1-19	3	100	3		No				
		1-20	2	78	2		No				
		1-21	1	52.7	1		No				
		1-22	2	95.8	2		No				
		1-23	1	52.6	1		No				
		1-24	2	76.2	2		No				
		1-25	3	113.2	3		No				
		1-26	2	83.6	2		No				
		1-27	3	102.9	3		No				
		1-28	1	52.6	1		No				
		1-29	1	76.3	1		No				
		1-30	1	52.6	1		No				
		1-31	1	78	1		No				
		1-32	1	54.6	1		No				
		1-33	1	78.4	1		No				
		1-34	3	99.4	3		No				
			Level 02	2-1	2	77.3	2		No		
				2-2	2	73.5	2		No		
				2-3	1	52.7	1		No		
				2-4	2	75	2		No		
				2-5	3	100	3		No		
		2-6		2	76.9	2		No			
		2-8		1	45.3	1		No			
		2-9		2	78	2		No			
		2-10		1	45.3	1		No			
		2-11		2	83.4	2		No			
		2-12		2	83.4	2		No			
		2-13		1	45.3	1		No			
		2-14		2	78	2		No			
		2-15	1	45.3	1		No				
		2-16	2	78	2		No				
		2-17	1	64.6	1		No				

## 8. DEVELOPMENT SCHEDULES

Block	Level	Unit No.	No. Of Bedrooms	Floor Area (Sqm)	Bike Parking	Car Parking	Proposed Part V	Non- Residential Use	Floor Area (Sqm)	
BLOCK B		2-18	1	64.6	1		No			
		2-19	3	100	3		No			
		2-20	2	78	2		No			
		2-21	1	52.7	1		No			
		2-22	2	95.8	2		No			
		2-23	1	52.6	1		No			
		2-24	2	76.2	2		No			
		2-25	3	113.2	3		No			
		2-26	2	83.6	2		No			
		2-27	3	109.5	3		No			
		2-28	1	52.6	1		No			
		2-29	2	76.3	2		No			
		2-30	1	52.6	1		No			
		2-31	2	78	2		No			
		2-32	1	54.6	1		No			
	2-33	2	78	2		No				
	2-34	1	54.7	1		No				
	2-35	2	82	2		No				
	Level 03	3-2	2	73.5	2		No		Roof Garden	816
		3-3	1	52.7	1		No			
		3-5	3	100	3		No			
		3-8	1	45.3	1		No			
		3-19	3	100	3		No			
		3-20	2	78	2		No			
		3-21	1	52.7	1		No			
		3-22	2	95.8	2		No			
		3-23	1	52.6	1		No			
		3-24	2	76.2	2		No			
		3-25	3	113.2	3		No			
		3-26	2	83.6	2		No			
		3-27	3	102.9	3		No			
		3-28	1	52.6	1		No			
		3-29	2	76.3	2		No			
		3-30	1	52.6	1		No			
		3-31	2	78	2		No			
	3-32	1	54.6	1		No				
	3-33	2	78	2		No				
	3-34	1	54.7	1		No				
	3-35	2	82	2		No				
	Level 04	4-28	3	101	3		No		Roof Garden	856
		4-29	2	76.3	2		No			
		4-30	3	101.7	3		No			
		4-31	2	78	2		No			
		4-32	1	54.6	1		No			
		4-33	3	111.7	3		No			
	Visitor Parking					63				
	<b>TOTAL</b>		<b>126</b>	<b>219</b>	<b>9251.48</b>	<b>282</b>	<b>139</b>		<b>TOTAL</b>	<b>1799.05</b>

## 8. DEVELOPMENT SCHEDULES

Block	Level	Unit No.	No. Of Bedrooms	Floor Area (Sqm)	Bike Parking	Car Parking	Proposed Part V
BLOCK C	Ground	G-1	3	135.7	3		No
		G-2	2	123.6	2		No
		G-3	2	123.6	2		No
		G-4	2	123.6	2		No
		G-5	1	88.8	1		No
		G-6	3	170.7	3		No
	Level 01	1-1	2	91.26	2		No
		1-2	3	95.8	3		No
		1-3	1	46.1	1		Yes
		1-4	2	70.3	2		Yes
		1-5	1	66	1		No
	Level 02	2-1	2	91.26	2		No
		2-2	3	95.8	3		No
		2-3	1	46.1	1		No
		2-4	2	70.3	2		Yes
		2-5	1	49.5	1		Yes
		2-6	3	95.9	3		No
		2-7	2	78.5	2		No
		2-8	2	79.1	2		No
		2-9	2	78.5	2		No
		2-10	2	80.53	2		No
		2-11	2	78.5	2		No
		2-12	2	86.8	2		No
	Level 03	3-1	2	101.4	2		No
		3-2	1	46.1	1		No
		3-3	2	70.3	2		Yes
		3-4	1	49.5	1		Yes
		3-5	3	95.9	3		No
		3-6	2	78.5	2		No
		3-7	2	79.1	2		No
		3-8	2	78.5	2		No
		3-9	2	80.53	2		No
		3-10	2	78.5	2		No
		3-11	2	86.8	2		No
	Level 04	4-4	2	92.4	2		No
		4-5	1	49.5	1		No
		4-6	3	95.9	3		No
		4-7	2	78.5	2		No
		4-8	2	79.1	2		No
		4-9	2	78.5	2		No
		4-10	2	80.53	2		No
		4-11	2	78.5	2		No
	4-12	2	86.8	2		No	
	Visitor Parking				22		
	<b>TOTAL</b>	<b>43</b>	<b>85</b>	<b>3631.11</b>	<b>107</b>	<b>-</b>	

Non- Residential Use	Floor Area (Sqm)
Café / Retail	51.21
Entry Foyer & Concierge	300
Café/ Retail	91.48
<b>TOTAL</b>	<b>442.69</b>



## 8. DEVELOPMENT SCHEDULES

Block	Level	Unit No.	No. Of Bedrooms	Floor Area (Sqm)	Bike Parking	Car Parking	Proposed Part V
BLOCK D	Ground Floor	<b>0</b>	0	0	0		-
	Level 01	<b>1-1</b>	1	56.74	1		Yes
		<b>1-2</b>	2	74.12	2		Yes
		<b>1-3</b>	1	37.57	1		Yes
		<b>1-4</b>	1	38.38	1		Yes
		<b>1-5</b>	1	65.78	1		Yes
	Level 02	<b>2-1</b>	1	56.74	1		Yes
		<b>2-2</b>	2	74.12	2		Yes
		<b>2-3</b>	1	37.57	1		Yes
		<b>2-4</b>	1	44.37	1		Yes
	Visitor Parking				5		
	<b>TOTAL</b>	<b>9</b>	<b>11</b>	<b>485.39</b>	<b>16</b>	<b>-</b>	

Non-Residential Use	Floor Area (Sqm)
Café /Retail	187.74
<b>TOTAL</b>	<b>187.74</b>

<b>TOTAL</b>		<b>180</b>	<b>319</b>	<b>13611.08</b>	<b>410</b>	<b>139</b>	
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<b>Total NR GIA</b>	<b>2535.83</b>
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## 8. DEVELOPMENT SCHEDULES

Site on the Balscadden Road & Main Street | Howth | Co. Dublin

### Ancillary Areas Schedule

**Block A**  
Retail Unit 106.4 msq

**Block B**  
Residents Amenity/ Foyer 127.1msq

**Block C**  
Cafe/ Retail 142.7 msq  
Residents Amenity/ Foyer 300 msq

**Block D**  
Cafe / Retail Unit 187.7 msq

**Total**  
Cafe/ Retail 436.8msq  
Residents Amenity/ Foyer 427.1 msq

### Residents Accomodation Schedule

BALSCADDEN		SCHEDULE OF ACCOMODATION						
	1-Bed	2-Bed	3-Bed	Studio	TOTAL	Dual Aspect		
<b>BLOCK A</b>								
Ground	0	0	0	0	0	0		
Level 01	0	0	0	0	0	1		
Level 02	0	2	0	0	2	1		
	<b>0</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>2</b>	100.0%	
	0.0%	100.0%	0.0%	0.0%				
<b>BLOCK B</b>								
Ground	14	15	2	0	31	13		
Level 01	15	14	5	0	34	15		
Level 02	13	17	4	0	34	16		
Level 03	8	9	4	0	21	9		
Level 04	1	2	3	0	6	4		
	<b>51</b>	<b>57</b>	<b>18</b>	<b>0</b>	<b>126</b>	<b>57</b>	45.2%	
	40.5%	45.2%	14.3%	0.0%				
<b>BLOCK C</b>								
Ground	0	0	0	0	0	0		
Level 01	3	5	3	0	11	9		
Level 02	2	8	2	0	12	6		
Level 03	2	8	1	0	11	6		
Level 04	1	7	1	0	9	4		
	<b>8</b>	<b>28</b>	<b>7</b>	<b>0</b>	<b>43</b>	<b>25</b>	58.1%	
	18.6%	65.1%	16.3%	0.0%				
<b>BLOCK D</b>								
Ground	0	0	0	0	0	0		
Level 01	2	1	0	2	5	3		
Level 02	1	1	0	2	4	4		
	<b>3</b>	<b>2</b>	<b>0</b>	<b>4</b>	<b>9</b>	<b>7</b>	77.8%	
	33.3%	22.2%	0.0%	44.4%				
<b>TOTAL</b>								
	1-Bed	2-Bed	3-Bed	Studio	TOTAL	Dual Aspect		
	<b>62</b>	<b>89</b>	<b>25</b>	<b>4</b>	<b>180</b>	<b>91</b>	50.6%	
	34.4%	49.4%	13.9%	2.2%				

ARCHITECTURAL DESIGN STATEMENT | March 2022

PLUS ARCHITECTURE LIMITED | Chancery Lane, Dublin 8, D08 C98X

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